



JESSE HALL AUDITORIUM

BUILDING ENVELOPE UPDATE

FOR THE CURATORS OF THE UNIVERSITY OF MISSOURI

INTERNATIONAL ARCHITECTS ATELIER

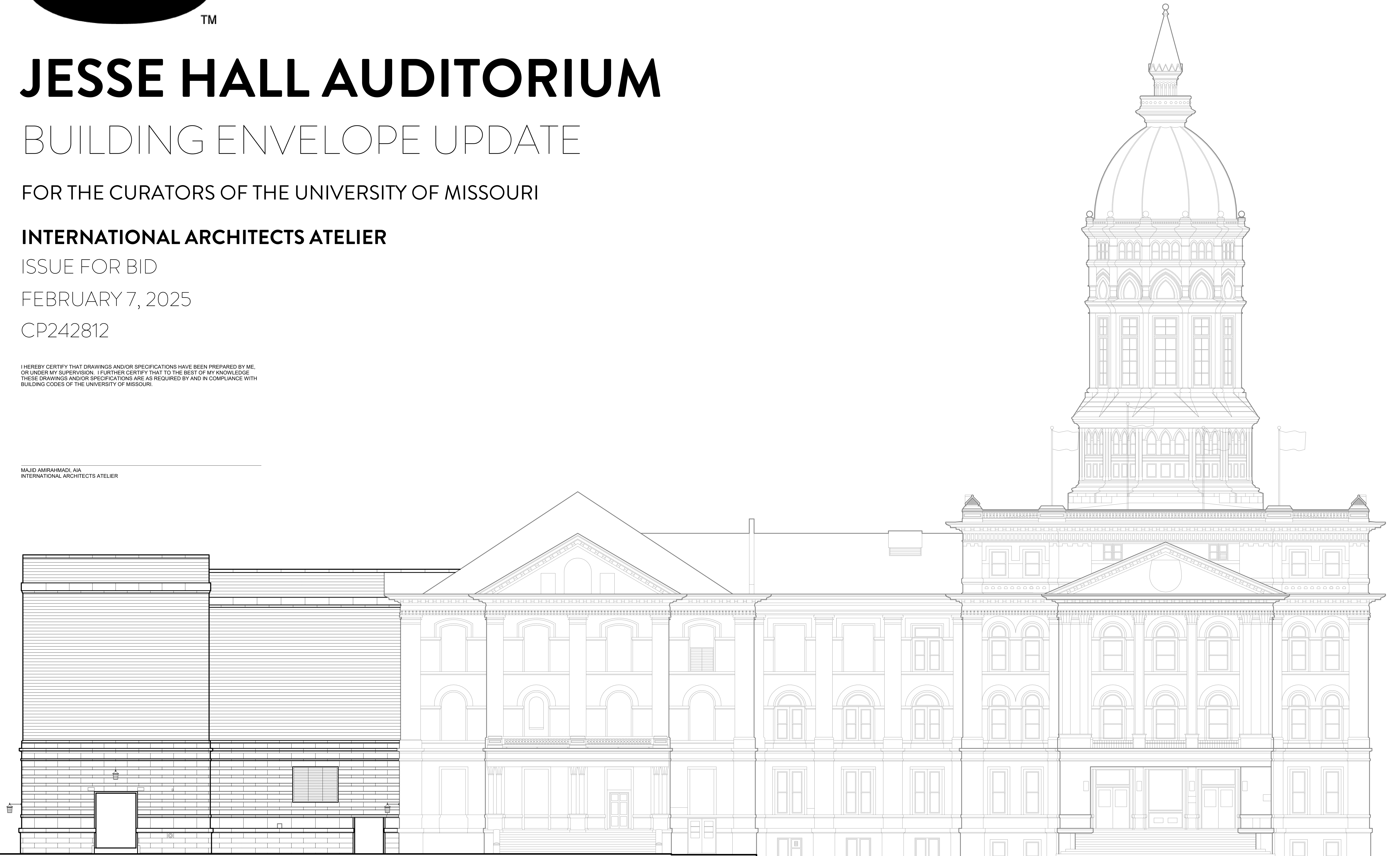
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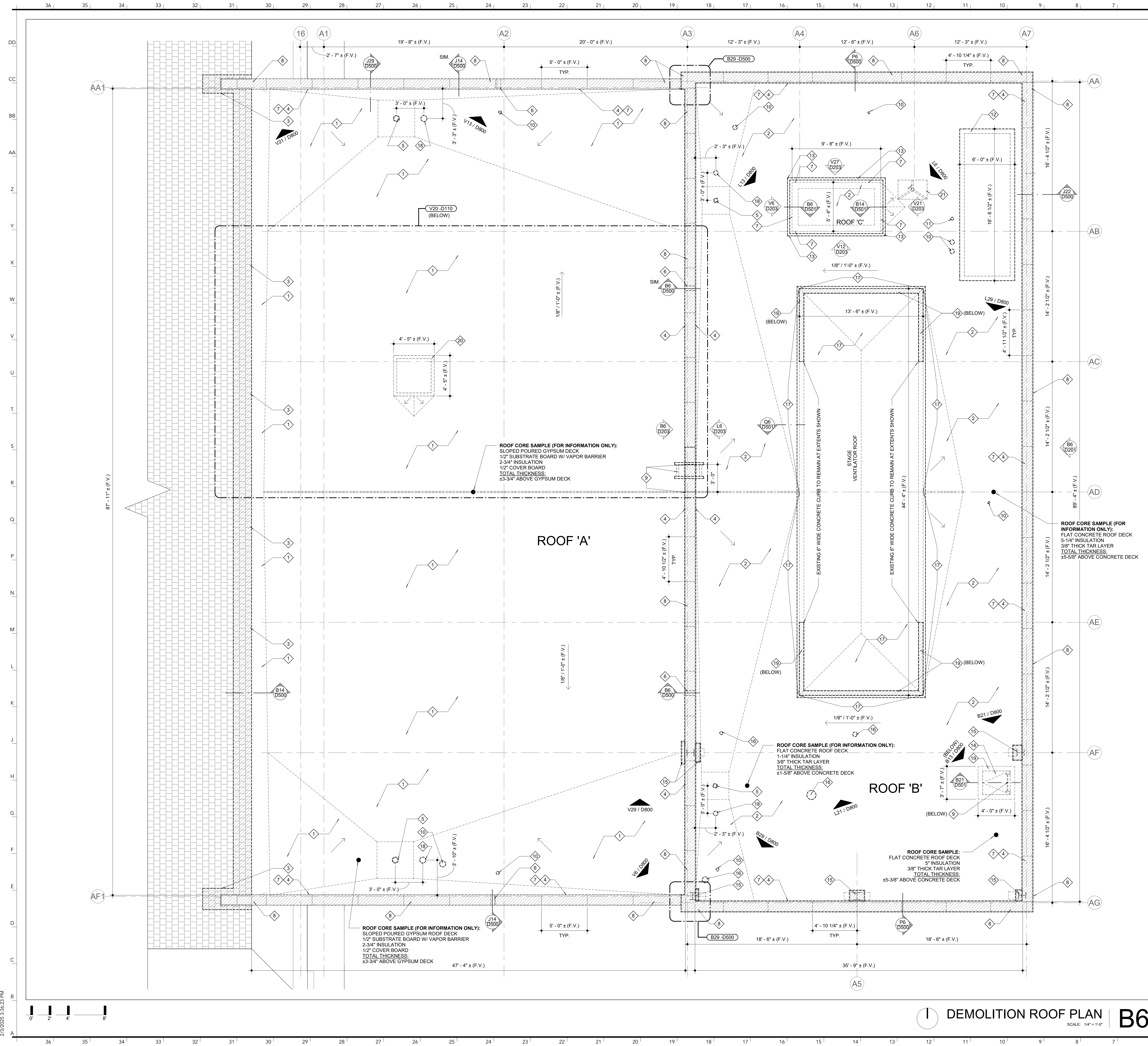
FEBRUARY 7, 2025

CP242812

I HEREBY CERTIFY THAT DRAWINGS AND/OR SPECIFICATIONS HAVE BEEN PREPARED BY ME,
OR UNDER MY SUPERVISION. I FURTHER CERTIFY THAT TO THE BEST OF MY KNOWLEDGE
THESE DRAWINGS AND/OR SPECIFICATIONS ARE AS REQUIRED BY AND IN COMPLIANCE WITH
BUILDING CODES OF THE UNIVERSITY OF MISSOURI.

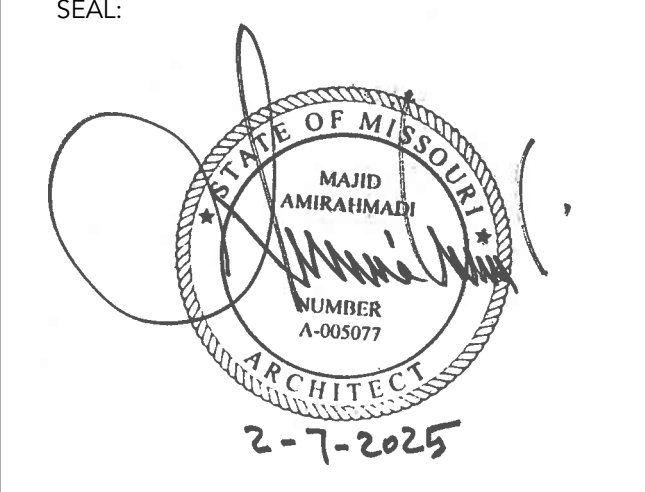
MAJID AMIRAHMADI, AIA
INTERNATIONAL ARCHITECTS ATELIER





- NOTE: REFER TO G001 FOR GENERAL DEMOLITION NOTES.
- INDICATES EXISTING BUILDING ELEMENTS TO REMAIN.
 - OR INDICATES ITEMS TO BE DEMOLISHED OR SALVAGED FOR REINSTALLATION. RE: DEMOLITION KEYNOTES.
 - INDICATES LOCATION OF OWNER'S ROOF CORE SAMPLE.
- ROOF DEMOLITION NOTES**
- 1 REMOVE EXISTING MEMBRANE ROOFING SYSTEM, INCLUDING TAPERED INSULATION, COVER/SUBSTRATE BOARDS, VAPOR BARRIERS, FASTENERS, ADHESIVES DOWN TO STRUCTURAL GYPSUM DECK.
 - 2 REMOVE EXISTING MEMBRANE ROOFING SYSTEM, INCLUDING TAPERED INSULATION, CANTS, COVER/SUBSTRATE BOARDS, VAPOR BARRIERS, FASTENERS, ADHESIVES DOWN TO STRUCTURAL CONCRETE ROOF SLAB.
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 - 4 REMOVE EXISTING MEMBRANE ROOFING SYSTEM, INCLUDING SUBSTRATE BOARD, VAPOR BARRIERS, TERMINATION BARS, FASTENERS, ADHESIVES, ETC. AT THE BRICK PARAPET WALLS TO EXPOSE THE EXISTING BRICK COURSEING. REFER TO MASONRY RESTORATION DRAWINGS FOR SCOPE OF WORK FOR RESTORING BRICK PARAPETS.
 - 5 REMOVE EXISTING ROOF DRAIN, INCLUDING FLASHING AND ALL FASTENERS. REFER TO DETAIL DRAWINGS FOR SCOPE OF WORK WITH EXISTING STORM DRAINAGE PIPING TO REMAIN.
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 - 8 REMOVE, CATALOGUE, AND SALVAGE STONE COPING FOR REINSTALLATION AFTER NEW FLASHING IS INSTALLED. REMOVE EXISTING FLASHING UNDERNEATH COPING. RE DETAIL: P6 / D500.
 - 9 REMOVE PORTION OF EXISTING BRICK PARAPET WALL AND COPING AT EXTENTS HIGHLIGHTED. REMOVE EXISTING METAL ROOF ACCESS LADDER AND SUPPORT BRACKETS.
 - 10 REMOVE EXISTING PENETRATION FLASHING AND ALL ASSOCIATED CLAMPING RINGS, SEALANTS, FASTENERS, ETC. PREPARE PIPING TO RECEIVE NEW FLASHING.
 - 11 REMOVE EXISTING PITCH POCKET, POURABLE SEALER AND ALL ASSOCIATED CLAMPING RINGS, FASTENERS, ETC. PREPARE PENETRATION TO RECEIVE NEW FLASHING.
 - 12 DISCONNECT, REMOVE & SALVAGE ROOF MOUNTED MECHANICAL EQUIPMENT FOR REINSTALLATION. REMOVE EXISTING EQUIPMENT CURB. CONTRACTOR TO PROVIDE TENT ENCLOSURE TO PROTECT ROOF OPENING FROM WEATHER, BUT ALLOW RELIEF EXHAUST AIR FROM ESCAPING. RE: MECH. FOR ALTERNATE SCOPE OF WORK.
 - 13 REMOVE EXISTING ROOF EDGE FLASHING AND ALL ASSOCIATED BLOCKING DOWN TO EXISTING CONCRETE ROOF SLAB.
 - 14 REMOVE EXISTING ROOF ACCESS HATCH. SAWCUT AND REMOVE EXISTING CONCRETE CURB.
 - 15 CUT & REMOVE EXISTING ABOVE ROOF STEEL STRUCTURE THAT IS REMAINING FROM THE PREVIOUS CHILLER REMOVAL PROJECT. REMOVE STEEL STRUCTURAL PLASTER ENCLOSURE AND STONE COPING BACK TO BRICK MASONRY PARAPET WALL AND EXISTING ROOF DECK.
 - 16 REMOVE EXISTING CAPPED/ABANDONED PIPING OR DUCTWORK AND ALL ASSOCIATED FLASHINGS AND FASTENERS ABOVE THE EXISTING ROOF DECK. TERMINATE AND GAP EXISTING PIPING OR DUCTWORK BELOW ROOF DECK. PREPARE CONCRETE DECK TO RECEIVE OPENING INFILL AND NEW ROOFING ASSEMBLY.
 - 17 EXISTING PAINT CONTAINS HAZARDOUS MATERIALS. RE: HAZARDOUS ABATEMENT SPECIFICATION. REMOVE EXISTING METAL STAGE VENTILATOR ENCLOSURE & ALL ASSOCIATED WALL PANELS, ROOFS, GUTTERS, FRAMING, FUSIBLE LINKS, ETC. DOWN TO THE EXISTING CONCRETE CURB. RE: ELECTRICAL FOR ADDITIONAL INFORMATION.
 - 18 CORE DRILL EXISTING ROOF DECK FOR INSERTION OF NEW OVERFLOW ROOF DRAIN BODY AND ASSOCIATED PIPING.
 - 19 REMOVE EXISTING 6" CONCRETE CURB AT EXTENTS SHOWN DOWN TO EXISTING ROOF DECK. CUT AND REMOVE ALL ASSOCIATED REINFORCEMENT WITHIN CURB AND PATCH CONCRETE SLAB TO CREATE FLUSH SURFACE.
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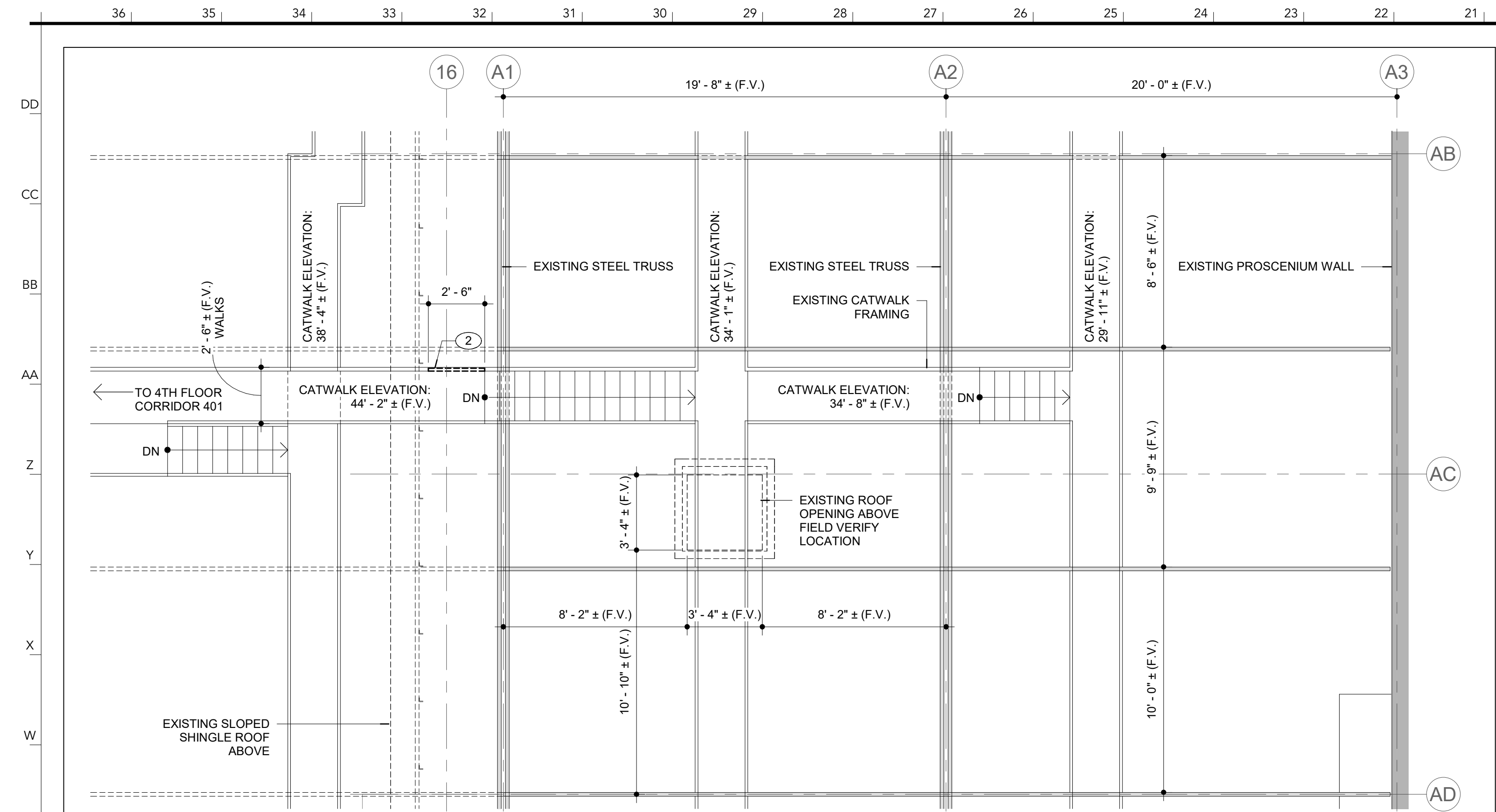
DATE:	FEBRUARY 7, 2025
PROJ. NO.:	CP242812
DESIGNED BY:	ST, J.L.
DRAWN BY:	ST, J.L.
CHECKED BY:	JL
APPROVED BY:	MA



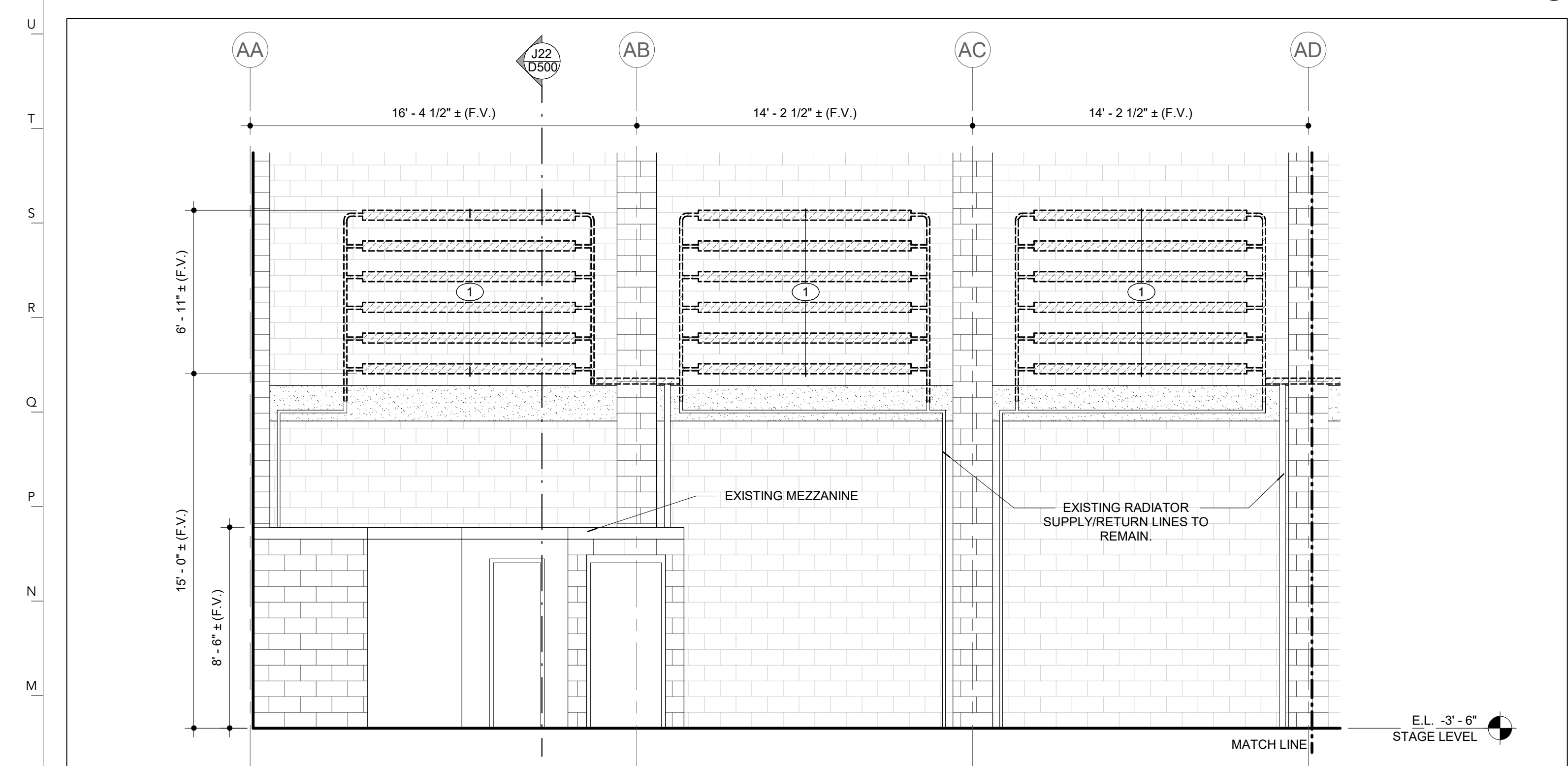
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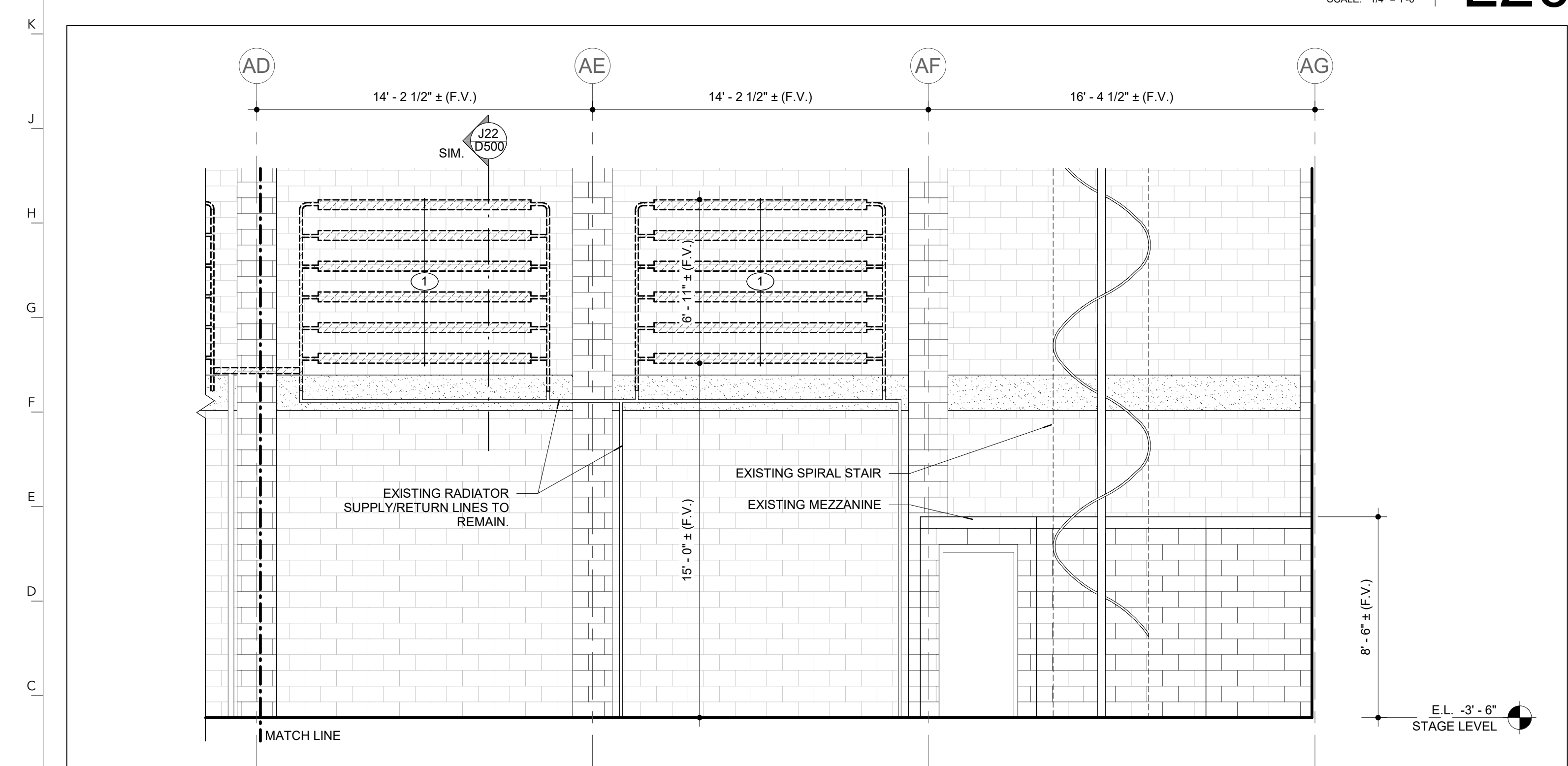
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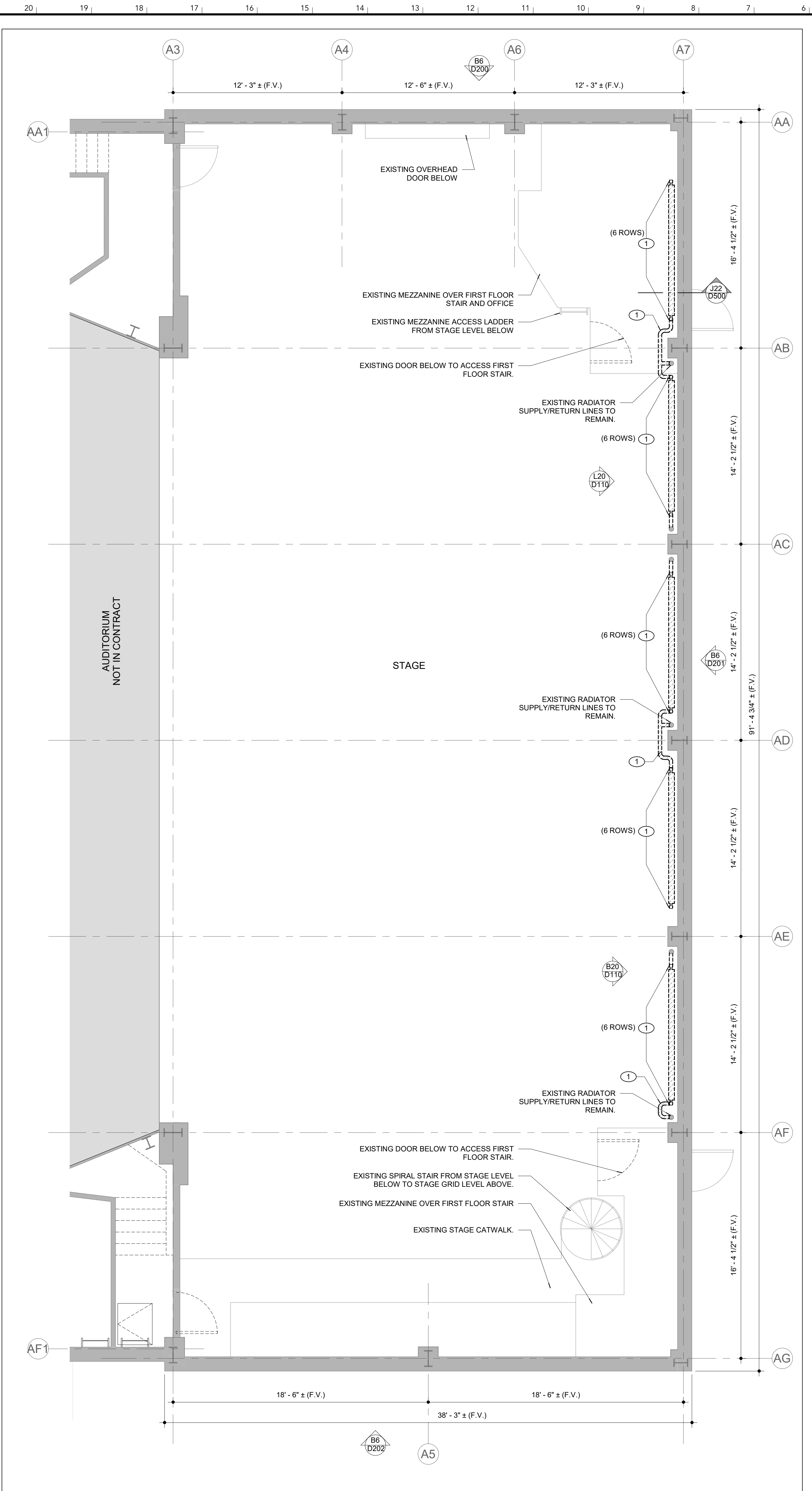
AUDITORIUM CATWALK ROOF ACCESS DEMO PLAN V20
SCALE: 1/4" = 1'-0"



ALTERNATE #1: RADIATOR DEMO ELEVATION - NORTH L20
SCALE: 1/4" = 1'-0"



ALTERNATE #1: RADIATOR DEMO ELEVATION - SOUTH B20
SCALE: 1/4" = 1'-0"



ALTERNATE #1: STAGE RADIATOR DEMO PLAN B6
SCALE: 1/4" = 1'-0"

- GENERAL NOTES:**
1. PROVIDE TEMPORARY PROTECTION AT THE EXISTING STAGE FLOOR AND MEZZANINE FLOOR.
 2. ALL EGRESS DOORS AND THE LOADING DOCK OVERHEAD DOOR SHALL REMAIN OPEN AND ACCESSIBLE AT ALL TIMES. PROVIDE OVERHEAD PROTECTION OVER THESE DOORS WHILE WORK IS BEING DONE AT THE RADIATORS ABOVE.
 3. REFER TO G001 FOR ADDITIONAL DEMOLITION NOTES AND REQUIREMENTS.

■ INDICATES EXISTING BUILDING ELEMENTS TO REMAIN.
 - - - - - INDICATES ITEMS TO BE DEMOLISHED OR SALVAGED FOR REINSTALLATION. RE: DEMOLITION KEYNOTES.

- INTERIOR DEMOLITION NOTES**
1. **ALTERNATE #1:** DISCONNECT, REMOVE AND SALVAGE WALL MOUNTED STEAM RADIATORS (6 ROWS PER BAY) AND ASSOCIATED PIPING AND ANCHORS AT EXTENTS SHOWN FOR REINSTALLATION AT NEW FRAMING INBOARD OF EXISTING MASONRY PILASTERS. REFER TO MECHANICAL DRAWINGS.
 2. CUT AND REMOVE PORTION OF EXISTING METAL CATWALK GUARDRAIL WHERE REQUIRED FOR NEW CATWALK EXTENSION TO NEW ROOF HATCH.

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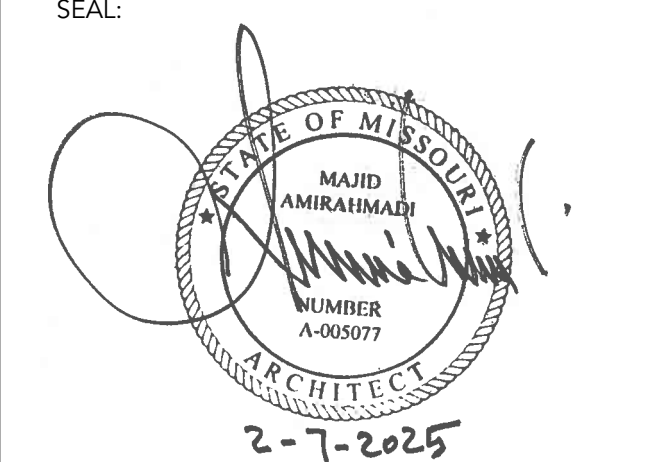
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 801 Conley Avenue
 Columbia, MO 65211

DATE: FEBRUARY 7, 2025
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 DESIGNED BY: ST, JL
 DRAWN BY: ST, JL
 CHECKED BY: JL
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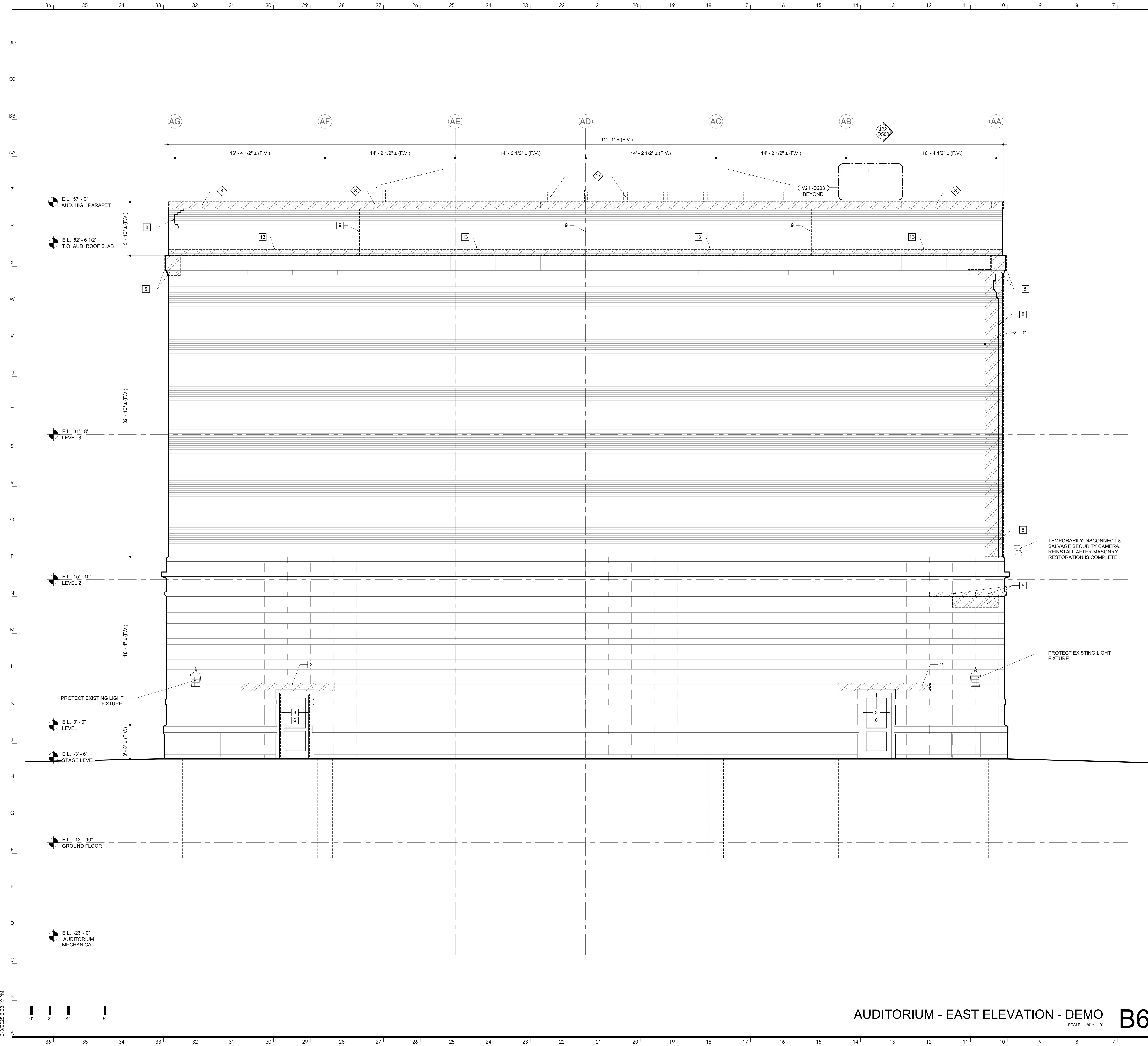
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INTERIOR PARTIAL DEMO PLANS & ELEVATIONS
D110

DEMO NOTES B1

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- MASONRY / EXTERIOR ENVELOPE DEMOLITION NOTES**
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 - 2 REMOVE EXISTING STONE LINTELS AND ASSOCIATED ANCHORS TO EXPOSE EXISTING STEEL LINTELS BEYOND. INSTALL TEMPORARY SHORING FOR MASONRY ABOVE.
 - 3 REMOVE ALL EXISTING SEALANT JOINTS AND BACKER RODS AROUND THE DOOR/LOWER FRAMES AND PREPARE JOINTS TO RECEIVE NEW BACKER ROD AND SEALANT.
 - 4 RAKE VERTICAL MORTAR JOINT 1" MINIMUM ALONG ENTIRE LENGTH OF INTERIOR CORNER. PREPARE JOINT TO RECEIVE BACKER ROD AND SEALANT.
 - 5 REMOVE, SALVAGE AND CATALOGUE EXISTING STONE BELT PIECES. REINSTALL WITH NEW STAINLESS STEEL STONE ANCHORS AFTER OTHER REPAIRS ARE COMPLETED. INSTALL TEMPORARY SHORING FOR MASONRY ABOVE.
 - 6 STRIP PAINT FROM EXISTING DOOR. PREPARE DOOR AND FRAME TO RECEIVE NEW PAINT. EXISTING PAINT CONTAINS HAZARDOUS MATERIALS. RE: HAZARDOUS ABATEMENT SPECIFICATION.
 - 7 REMOVE & SALVAGE BIRD SCREEN. CLEAN & PREPARE EXISTING METAL LOUVER & FRAME TO RECEIVE NEW PAINT.
 - 8 REMOVE DAMAGED FACE BRICKS AT STEP CRACKING. REMOVE & SALVAGE EXISTING FACE BRICK AT EXTENTS SHOWN ADJACENT TO STEP CRACKING. PROVIDE TEMPORARY SHORING FOR MASONRY ABOVE TO REMAIN IN PLACE. CONTRACTOR SHALL NOTIFY ARCHITECT ONCE THIS HAS BEEN COMPLETED TO REVIEW CONDITION OF MASONRY WYTHES BEYOND.
 - 9 REMOVE BACKER ROD & SEALANT AT VERTICAL BRICK CONTROL JOINT. PREPARE & CLEAN JOINT TO RECEIVE NEW BACKER ROD & SEALANT.
 - 10 REMOVE SEALANT JOINT ALONG BRICK JOINT. RAKE EXISTING MORTAR MINIMUM 1" FROM FACE OF BRICK AND PREPARE JOINT TO RECEIVE HISTORIC POINTING MORTAR.
 - 11 CONTRACTOR TO NOTIFY ARCHITECT WHEN EXISTING STEEL ANGLE IS EXPOSED FOR REVIEW OF CONDITIONS. SANDBLAST AWAY ALL EXISTING RUST AND PREPARE ANGLE TO RECEIVE NEW COATING.
 - 12 CORE DRILL EXISTING MASONRY WALL FOR INSERTION OF NEW OVERFLOW ROOF DRAIN PIPING AND LAMBS TONGUE NOZZLE. COORDINATE SIZE OF CORE DRILL WITH SIZE OF OVERFLOW PIPING.
 - 13 REMOVE AND SALVAGE THREE COURSES OF FACE BRICK ABOVE STONE BELT. AND REMOVE EXISTING FLASHING SEQUENCE AND PROVIDE TEMPORARY SHORING SIMILAR TO ELEVATION DETAIL Q22 / D501.

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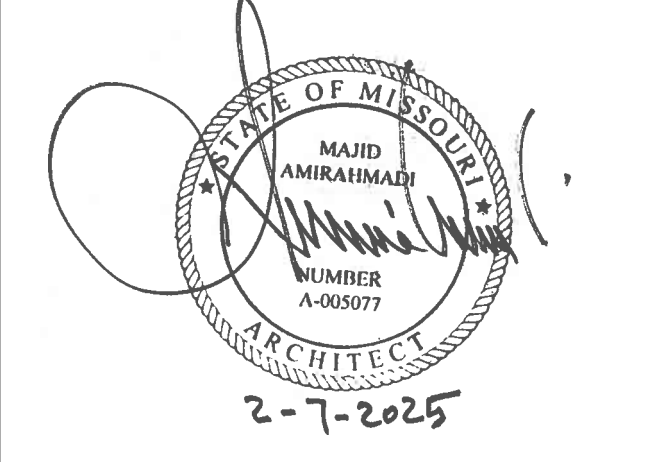


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APPROVED BY:	MA



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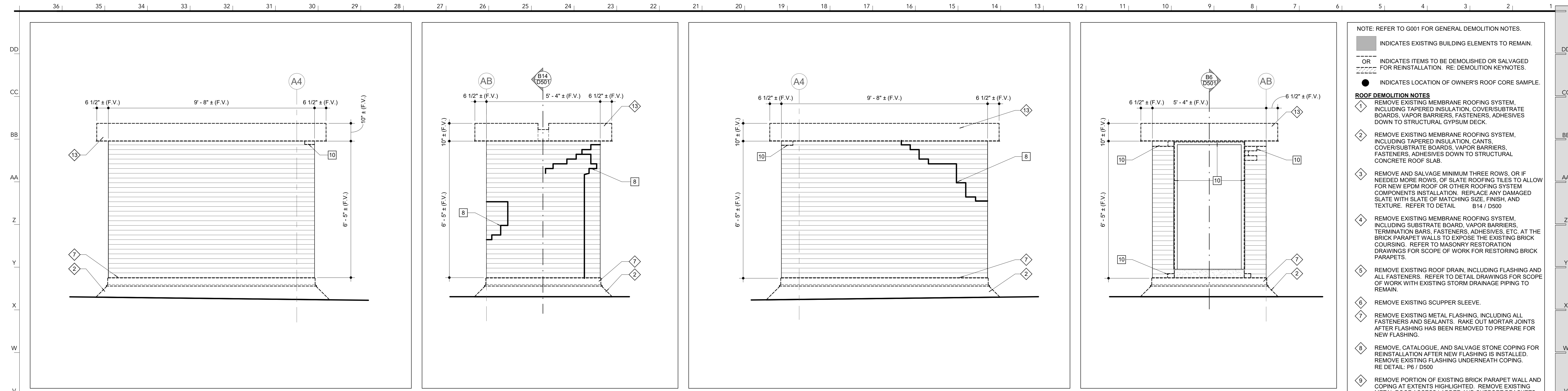
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**AUDITORIUM EAST
 ELEVATION**

D201

AUDITORIUM - EAST ELEVATION - DEMO B6

DEMO NOTES B1

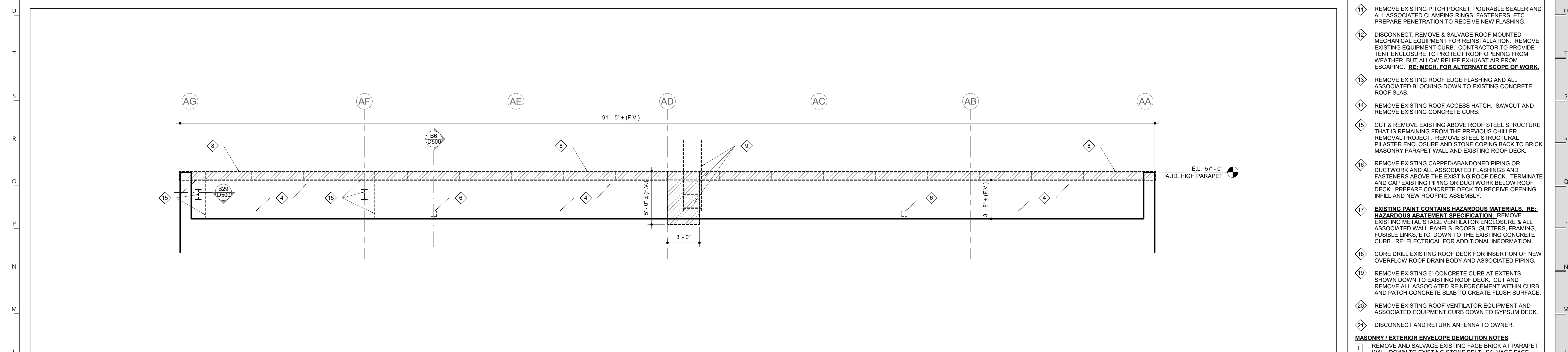


PENTHOUSE - NORTH V27
SCALE: 1/2" = 1'-0"

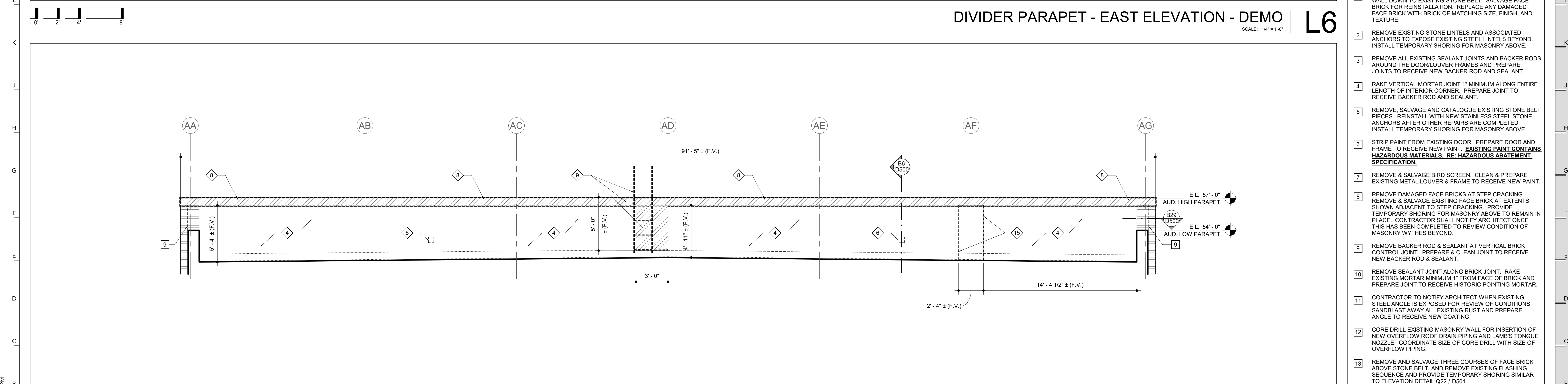
PENTHOUSE - EAST V21
SCALE: 1/2" = 1'-0"

PENTHOUSE - SOUTH V12
SCALE: 1/2" = 1'-0"

PENTHOUSE - WEST V6
SCALE: 1/2" = 1'-0"



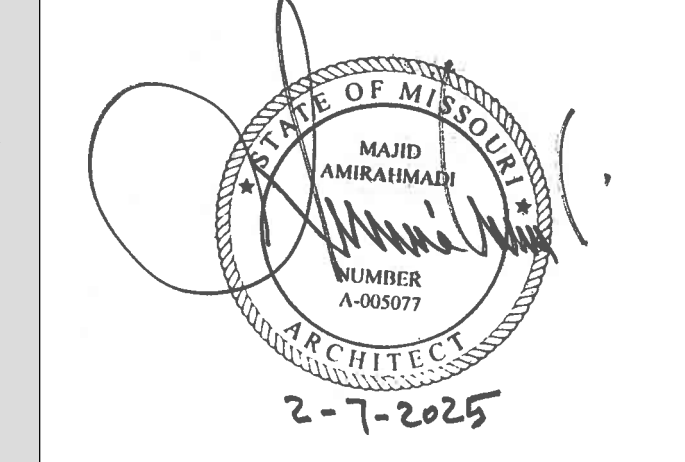
DIVIDER PARAPET - EAST ELEVATION - DEMO L6
SCALE: 1/4" = 1'-0"



DIVIDER PARAPET - WEST ELEVATION - DEMO B6
SCALE: 1/4" = 1'-0"

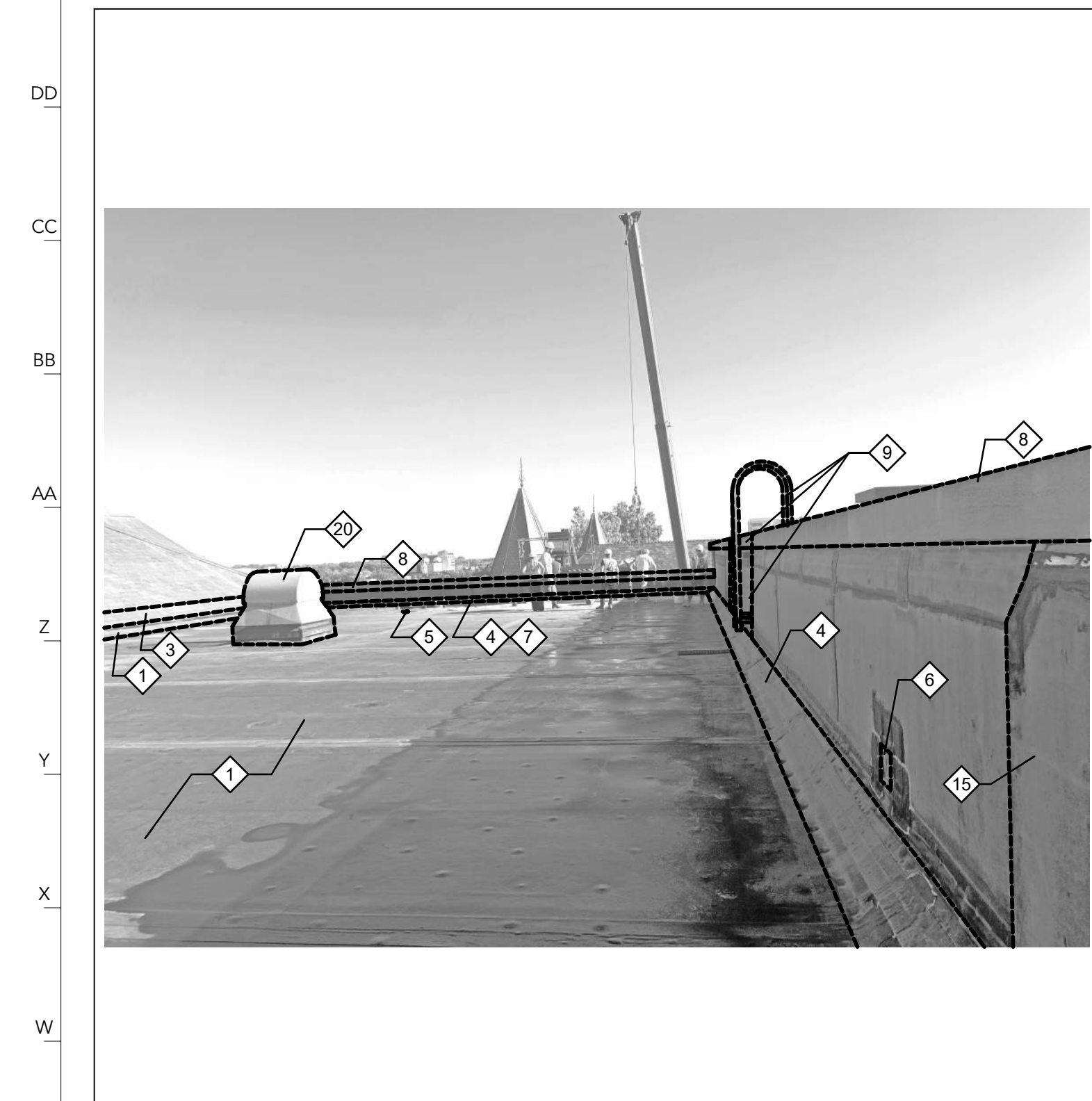
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 - 16 REMOVE EXISTING CAPPED/ABANDONED PIPING OR DUCTWORK AND ALL ASSOCIATED FLASHINGS AND FASTENERS ABOVE THE EXISTING ROOF DECK. TERMINATE AND CAP EXISTING PIPING OR DUCTWORK BELOW ROOF DECK. PREPARE CONCRETE DECK TO RECEIVE OPENING INFILL AND NEW ROOFING ASSEMBLY.
 - 17 **EXISTING PAINT CONTAINS HAZARDOUS MATERIALS. RE: HAZARDOUS ABATEMENT SPECIFICATION.** REMOVE EXISTING METAL STORAGE VENTILATOR ENCLOSURE AND ALL ASSOCIATED WALL PANELS, ROOFS, GUTTERS, FRAMING, FUSIBLE LINKS, ETC. DOWN TO THE EXISTING CONCRETE CURB. RE: ELECTRICAL FOR ADDITIONAL INFORMATION.
 - 18 CORE DRILL EXISTING ROOF DECK FOR INSERTION OF NEW OVERFLOW ROOF DRAIN BODY AND ASSOCIATED PIPING.
 - 19 REMOVE EXISTING 6" CONCRETE CURB AT EXTENTS SHOWN DOWN TO EXISTING ROOF DECK. CUT AND REMOVE ALL ASSOCIATED REINFORCEMENT WITHIN CURB AND PATCH CONCRETE SLAB TO CREATE FLUSH SURFACE.
 - 20 REMOVE EXISTING ROOF VENTILATOR EQUIPMENT AND ASSOCIATED EQUIPMENT CURB DOWN TO GYPSUM DECK.
 - 21 DISCONNECT AND RETURN ANTENNA TO OWNER.
- MASONRY / EXTERIOR ENVELOPE DEMOLITION NOTES**
- 1 REMOVE AND SALVAGE EXISTING FACE BRICK AT PARAPET WALL DOWN TO EXISTING STONE BELT. SALVAGE FACE BRICK FOR REINSTALLATION. REPLACE ANY DAMAGED FACE BRICK WITH BRICK OF MATCHING SIZE, FINISH, AND TEXTURE.
 - 2 REMOVE EXISTING STONE LINTELS AND ASSOCIATED ANCHORS TO EXPOSE EXISTING STEEL LINTELS BEYOND. INSTALL TEMPORARY SHORING FOR MASONRY ABOVE.
 - 3 REMOVE ALL EXISTING SEALANT JOINTS AND BACKER RODS AROUND THE DOOR/LOUVER FRAMES AND PREPARE JOINTS TO RECEIVE NEW BACKER ROD AND SEALANT.
 - 4 RAKE VERTICAL MORTAR JOINT 1" MINIMUM ALONG ENTIRE LENGTH OF INTERIOR CORNER. PREPARE JOINT TO RECEIVE BACKER ROD AND SEALANT.
 - 5 REMOVE, SALVAGE AND CATALOGUE EXISTING STONE BELT PIECES. REINSTALL WITH NEW STAINLESS STEEL STONE ANCHORS AFTER OTHER REPAIRS ARE COMPLETED. INSTALL TEMPORARY SHORING FOR MASONRY ABOVE.
 - 6 STRIP PAINT FROM EXISTING DOOR, PREPARE DOOR AND FRAME TO RECEIVE NEW PAINT. **EXISTING PAINT CONTAINS HAZARDOUS MATERIALS. RE: HAZARDOUS ABATEMENT SPECIFICATION.**
 - 7 REMOVE & SALVAGE BIRD SCREEN. CLEAN & PREPARE EXISTING METAL LOUVER & FRAME TO RECEIVE NEW PAINT.
 - 8 REMOVE DAMAGED FACE BRICKS AT STEP CRACKING. REMOVE & SALVAGE EXISTING FACE BRICK AT EXTENTS SHOWN ADJACENT TO STEP CRACKING. PROVIDE TEMPORARY SHORING FOR MASONRY ABOVE TO REMAIN IN PLACE. CONTRACTOR SHALL NOTIFY ARCHITECT ONCE THIS HAS BEEN COMPLETED TO REVIEW CONDITION OF MASONRY WYTHES BEYOND.
 - 9 REMOVE BACKER ROD & SEALANT AT VERTICAL BRICK CONTROL JOINT. PREPARE & CLEAN JOINT TO RECEIVE NEW BACKER ROD & SEALANT.
 - 10 REMOVE SEALANT JOINT ALONG BRICK JOINT. RAKE EXISTING MORTAR MINIMUM 1" FROM FACE OF BRICK AND PREPARE JOINT TO RECEIVE HISTORIC POINTING MORTAR.
 - 11 CONTRACTOR TO NOTIFY ARCHITECT WHEN EXISTING STEEL ANGLE IS EXPOSED FOR REVIEW OF CONDITIONS. SANDBLAST AWAY ALL EXISTING RUST AND PREPARE ANGLE TO RECEIVE NEW COATING.
 - 12 CORE DRILL EXISTING MASONRY WALL FOR INSERTION OF NEW OVERFLOW ROOF DRAIN PIPING AND LAMBS TONGUE NOZZLE. COORDINATE SIZE OF CORE DRILL WITH SIZE OF OVERFLOW PIPING.
 - 13 REMOVE AND SALVAGE THREE COURSES OF FACE BRICK ABOVE STONE BELT. AND REMOVE EXISTING FLASHING, SEQUENCE AND PROVIDE TEMPORARY SHORINGS SIMILAR TO ELEVATION DETAIL Q22 / D501.

DATE:	FEBRUARY 7, 2025
PROJ. NO.:	CP242812
DESIGNED BY:	ST, JL
DRAWN BY:	ST, JL
CHECKED BY:	JL
APPROVED BY:	MA

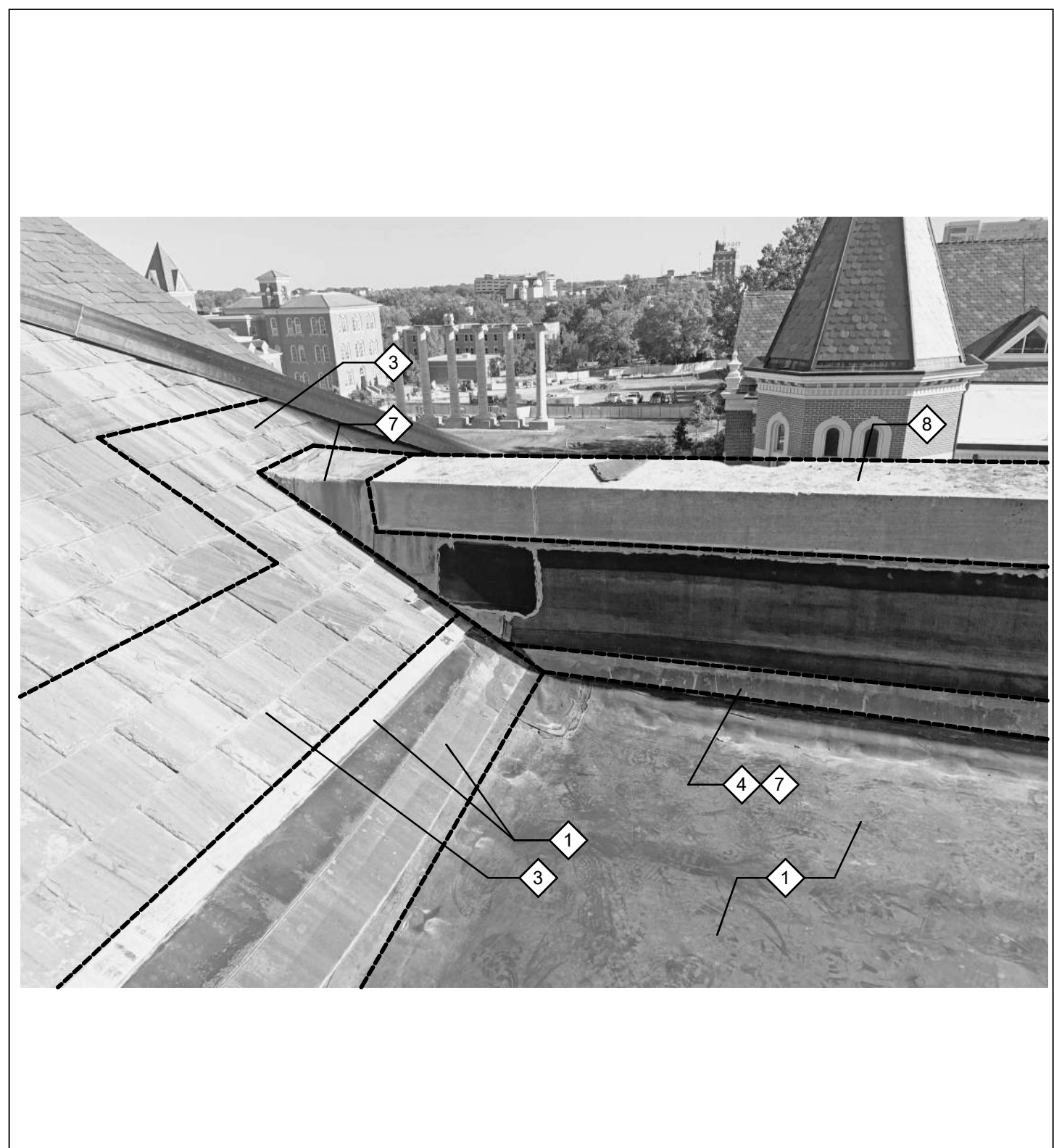


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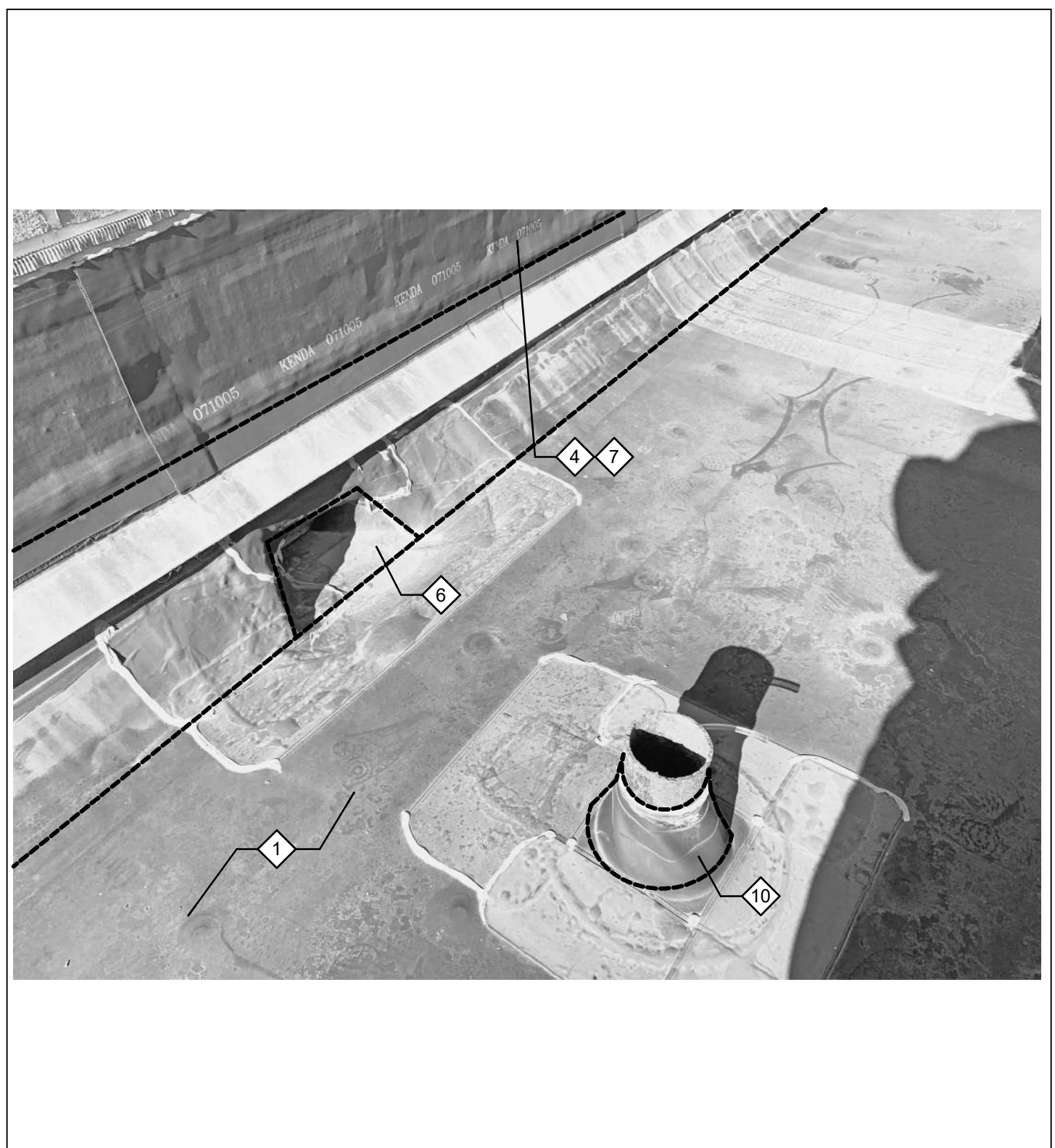
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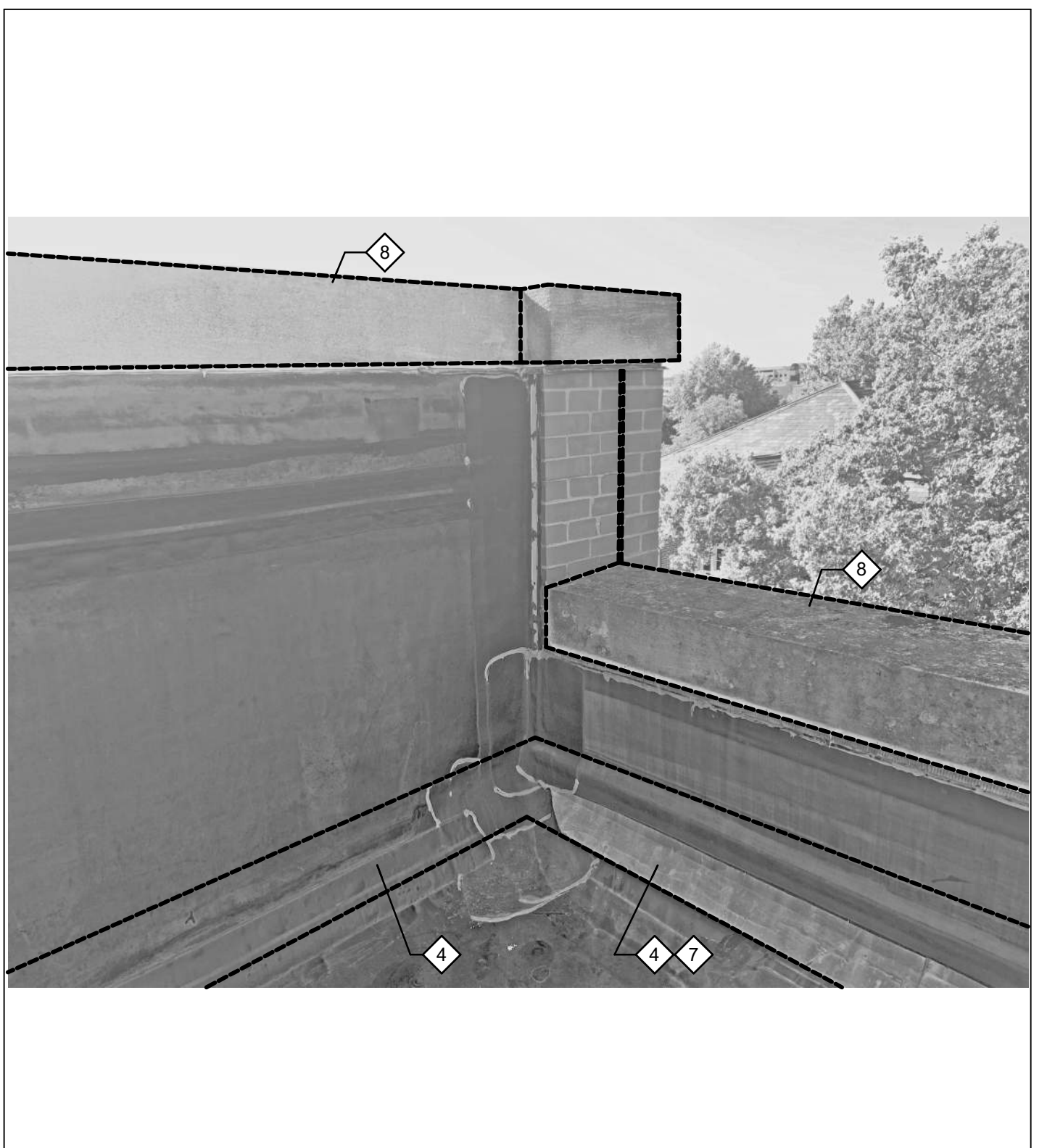
ROOF "A" VIEW NORTH | V29



ROOF "A" NORTHWEST CORNER | V21



ROOF "A" @NORTH PARAPET WALL | V13



SOUTHEAST CORNER OF PARAPET | V6



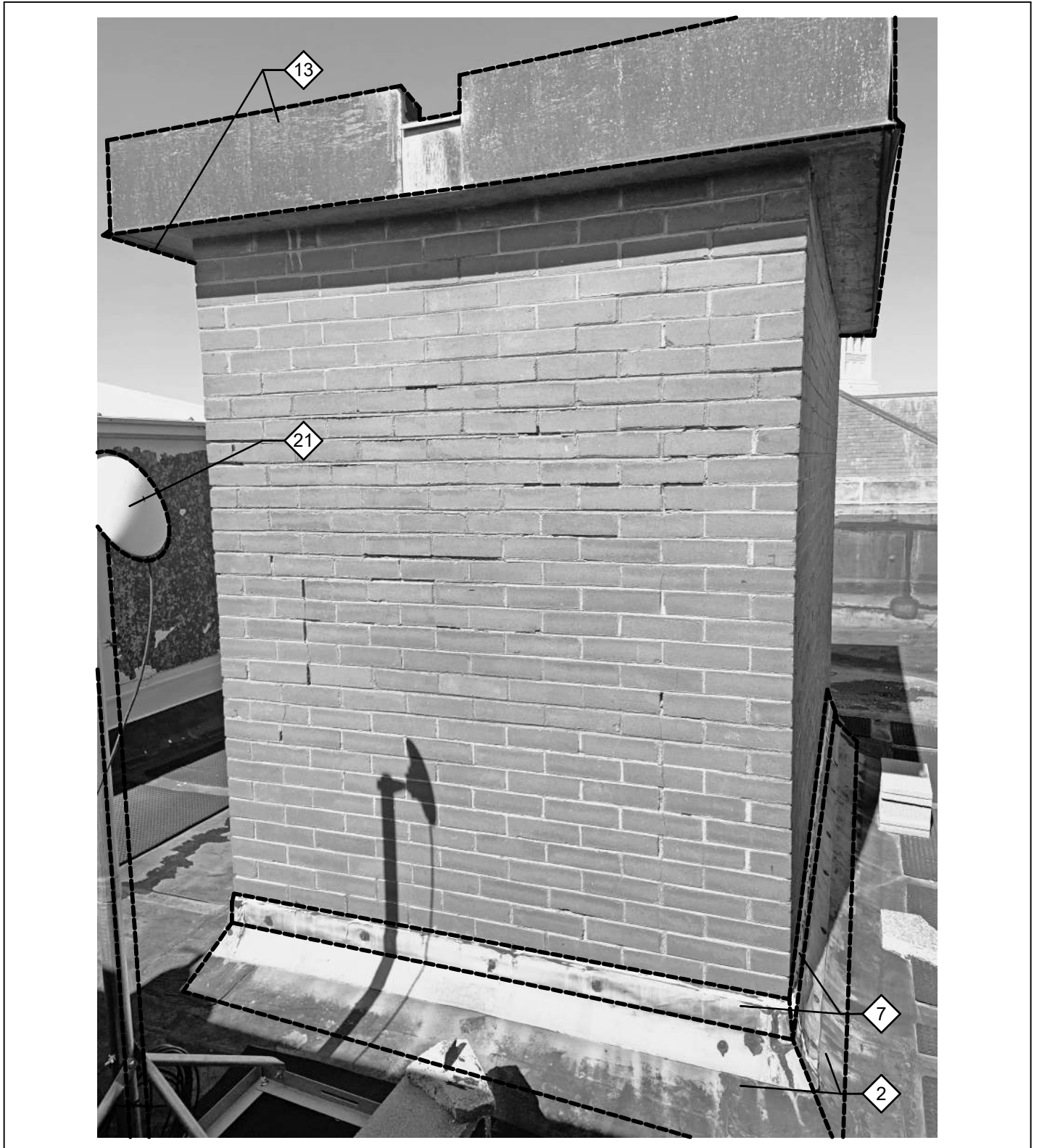
ROOF "B" LOOKING SOUTHEAST | L29



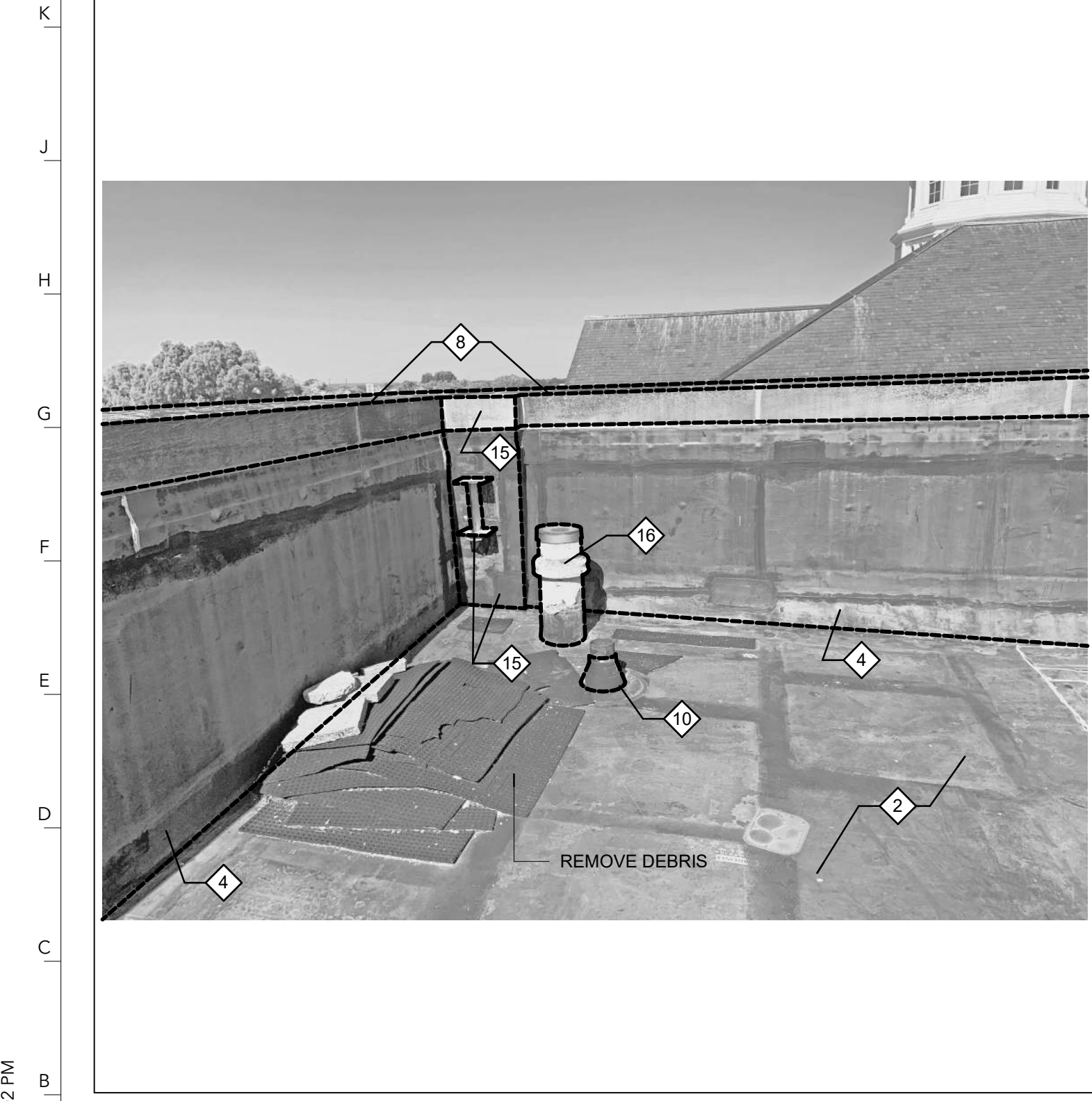
ROOF "B" LOOKING NORTH | L21



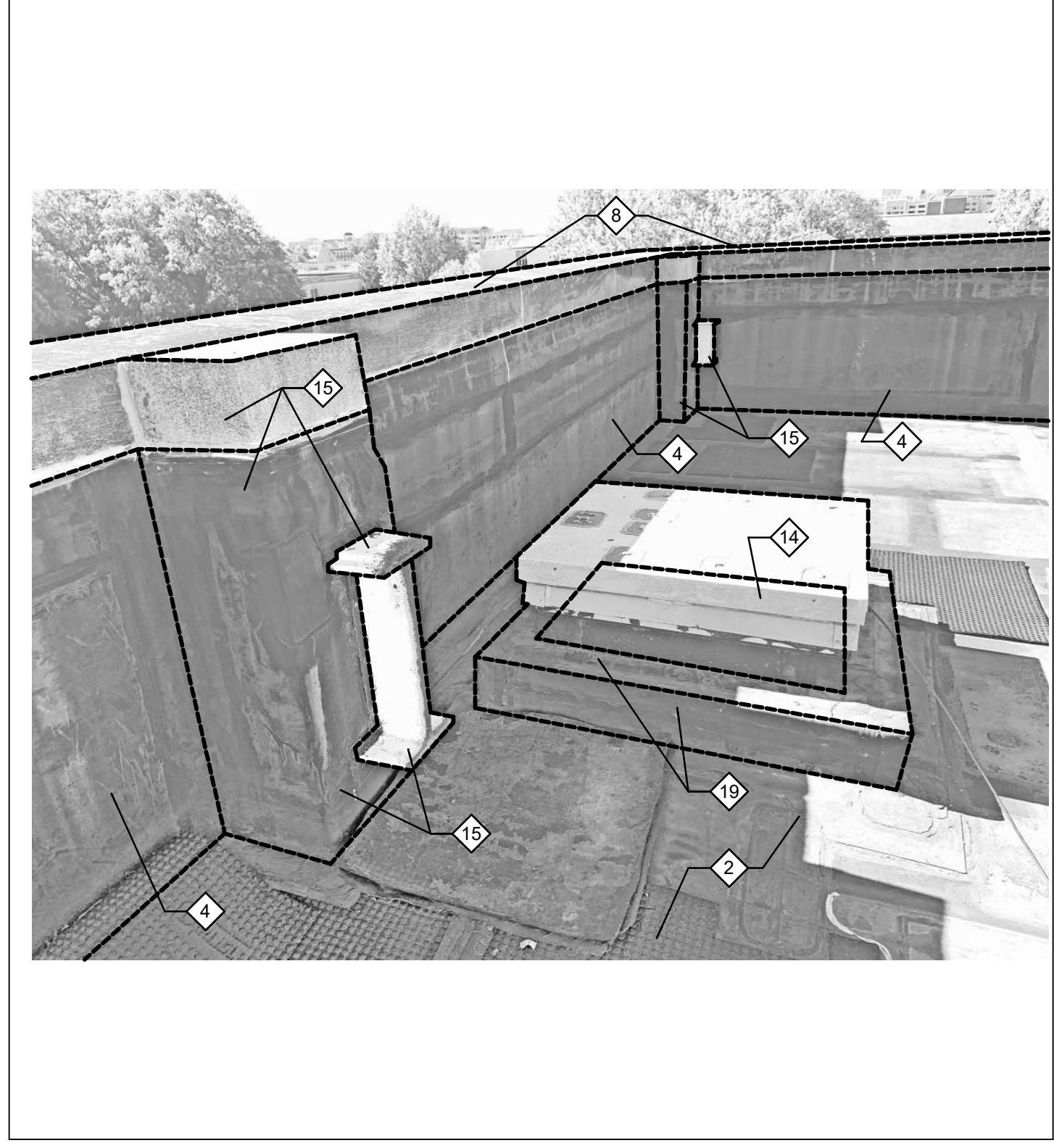
PENTHOUSE N/W ELEVATIONS | L13



PENTHOUSE SOUTH ELEVATION | L6



ROOF "B" SOUTHWEST CORNER | B29



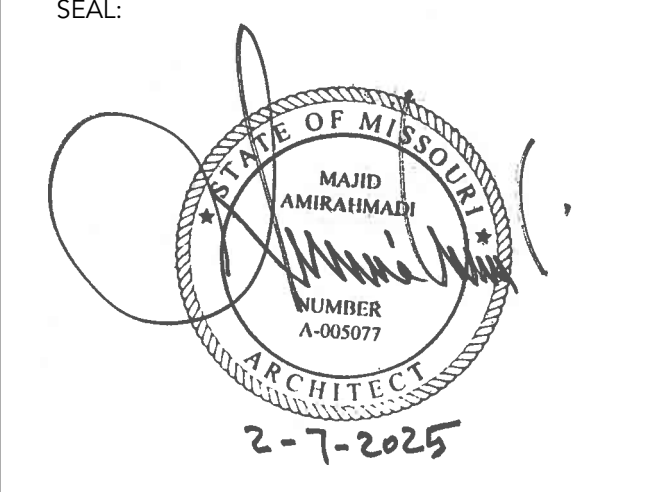
ROOF "B" ACCESS | B21



ROOF HATCH LADDER | B13

- NOTE: REFER TO G001 FOR GENERAL DEMOLITION NOTES.
- INDICATES EXISTING BUILDING ELEMENTS TO REMAIN.
 - OR --- INDICATES ITEMS TO BE DEMOLISHED OR SALVAGED FOR REINSTALLATION. RE: DEMOLITION KEYNOTES.
 - INDICATES LOCATION OF OWNER'S ROOF CORE SAMPLE.
- ROOF DEMOLITION NOTES**
- 1 REMOVE EXISTING MEMBRANE ROOFING SYSTEM, INCLUDING TAPERED INSULATION, COVER/SUBSTRATE BOARDS, VAPOR BARRIERS, FASTENERS, ADHESIVES DOWN TO STRUCTURAL GYPSUM DECK.
 - 2 REMOVE EXISTING MEMBRANE ROOFING SYSTEM, INCLUDING TAPERED INSULATION, CANTS, COVER/SUBSTRATE BOARDS, VAPOR BARRIERS, FASTENERS, ADHESIVES DOWN TO STRUCTURAL CONCRETE ROOF SLAB.
 - 3 REMOVE AND SALVAGE MINIMUM THREE ROWS, OR IF NEEDED MORE ROWS, OF SLATE ROOFING TILES TO ALLOW FOR NEW EPDM ROOF OR OTHER ROOFING SYSTEM COMPONENTS INSTALLATION. REPLACE ANY DAMAGED SLATE WITH SLATE OF MATCHING SIZE, FINISH, AND TEXTURE. REFER TO DETAIL B14 / D500
 - 4 REMOVE EXISTING MEMBRANE ROOFING SYSTEM, INCLUDING SUBSTRATE BOARD, VAPOR BARRIERS, TERMINATION BARS, FASTENERS, ADHESIVES, ETC. AT THE BRICK PARAPET WALLS TO EXPOSE THE EXISTING BRICK COURSEING. REFER TO MASONRY RESTORATION DRAWINGS FOR SCOPE OF WORK FOR RESTORING BRICK PARAPETS.
 - 5 REMOVE EXISTING ROOF DRAIN, INCLUDING FLASHING AND ALL FASTENERS. REFER TO DETAIL DRAWINGS FOR SCOPE OF WORK WITH EXISTING STORM DRAINAGE PIPING TO REMAIN.
 - 6 REMOVE EXISTING SCUPPER SLEEVE.
 - 7 REMOVE EXISTING METAL FLASHING, INCLUDING ALL FASTENERS AND SEALANTS. RAKE OUT MORTAR JOINTS AFTER FLASHING HAS BEEN REMOVED TO PREPARE FOR NEW FLASHING.
 - 8 REMOVE, CATALOGUE, AND SALVAGE STONE COPING FOR REINSTALLATION AFTER NEW FLASHING IS INSTALLED. REMOVE EXISTING FLASHING UNDERNEATH COPING. RE DETAIL: P6 / D500
 - 9 REMOVE PORTION OF EXISTING BRICK PARAPET WALL AND COPING AT EXTENTS HIGHLIGHTED. REMOVE EXISTING METAL ROOF ACCESS LADDER AND SUPPORT BRACKETS.
 - 10 REMOVE EXISTING PENETRATION FLASHING AND ALL ASSOCIATED CLAMPING RINGS, SEALANTS, FASTENERS, ETC. PREPARE PIPING TO RECEIVE NEW FLASHING.
 - 11 REMOVE EXISTING PITCH POCKET, POURABLE SEALER AND ALL ASSOCIATED CLAMPING RINGS, FASTENERS, ETC. PREPARE PENETRATION TO RECEIVE NEW FLASHING.
 - 12 DISCONNECT, REMOVE & SALVAGE ROOF MOUNTED MECHANICAL EQUIPMENT FOR REINSTALLATION. REMOVE EXISTING EQUIPMENT CURB. CONTRACTOR TO PROVIDE TENT ENCLOSURE TO PROTECT ROOF OPENING FROM WEATHER, BUT ALLOW RELIEF EXHAUST AIR FROM ESCAPING. RE: MECH. FOR ALTERNATE SCOPE OF WORK.
 - 13 REMOVE EXISTING ROOF EDGE FLASHING AND ALL ASSOCIATED BLOCKING DOWN TO EXISTING CONCRETE ROOF SLAB.
 - 14 REMOVE EXISTING ROOF ACCESS HATCH. SAWCUT AND REMOVE EXISTING CONCRETE CURB.
 - 15 CUT & REMOVE EXISTING ABOVE ROOF STEEL STRUCTURE THAT IS REMAINING FROM THE PREVIOUS CHILLER REMOVAL PROJECT. REMOVE STEEL STRUCTURAL PLASTER ENCLOSURE AND STONE COPING BACK TO BRICK MASONRY PARAPET WALL AND EXISTING ROOF DECK.
 - 16 REMOVE EXISTING CAPPED/ABANDONED PIPING OR DUCTWORK AND ALL ASSOCIATED FLASHINGS AND FASTENERS ABOVE THE EXISTING ROOF DECK. TERMINATE AND CAP EXISTING PIPING OR DUCTWORK BELOW ROOF DECK. PREPARE CONCRETE DECK TO RECEIVE OPENING INFILL AND NEW ROOFING ASSEMBLY.
 - 17 **EXISTING PAINT CONTAINS HAZARDOUS MATERIALS. RE: HAZARDOUS ABATEMENT SPECIFICATION.** REMOVE EXISTING METAL STAGE VENTILATOR ENCLOSURE & ALL ASSOCIATED WALL PANELS, ROOFS, GUTTERS, FRAMING, FUSIBLE LINKS, ETC. DOWN TO THE EXISTING CONCRETE CURB. RE: ELECTRICAL FOR ADDITIONAL INFORMATION.
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 - 20 REMOVE EXISTING ROOF VENTILATOR EQUIPMENT AND ASSOCIATED EQUIPMENT CURB DOWN TO GYPSUM DECK.
 - 21 DISCONNECT AND RETURN ANTENNA TO OWNER.

DATE:	FEBRUARY 7, 2025
PROJ. NO.:	CP242812
DESIGNED BY:	JL, MA
DRAWN BY:	JL, KL
CHECKED BY:	JL
APPROVED BY:	MA



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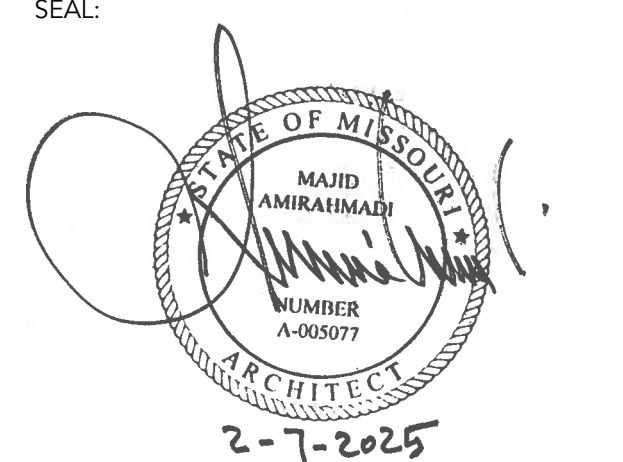


JESSE HALL AUDITORIUM - BUILDING ENVELOPE UPDATE

ISSUE FOR BID

801 Conley Avenue
Columbia, MO 65211

DATE: FEBRUARY 7, 2025
PROJ. NO.: CP242812
DESIGNED BY: ST, JL
DRAWN BY: ST, JL
CHECKED BY: JL
APPROVED BY: MA



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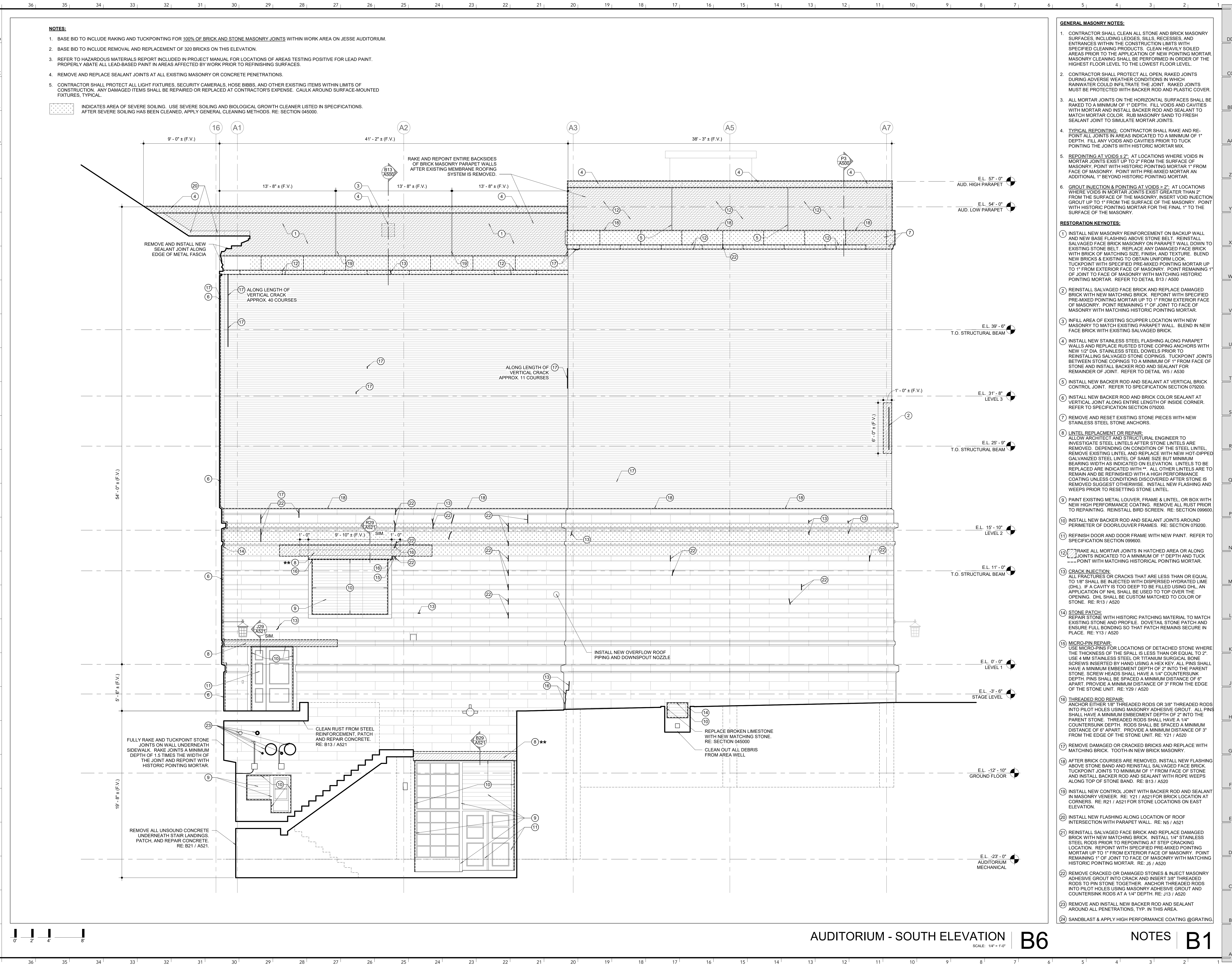
AUDITORIUM SOUTH ELEVATION

A202

- NOTES:**
- BASE BID TO INCLUDE RAKING AND TUCKPOINTING FOR 100% OF BRICK AND STONE MASONRY JOINTS WITHIN WORK AREA ON JESSE AUDITORIUM.
 - BASE BID TO INCLUDE REMOVAL AND REPLACEMENT OF 320 BRICKS ON THIS ELEVATION.
 - REFER TO HAZARDOUS MATERIALS REPORT INCLUDED IN PROJECT MANUAL FOR LOCATIONS OF AREAS TESTING POSITIVE FOR LEAD PAINT. PROPERLY ABATE ALL LEAD-BASED PAINT IN AREAS AFFECTED BY WORK PRIOR TO REFINISHING SURFACES.
 - REMOVE AND REPLACE SEALANT JOINTS AT ALL EXISTING MASONRY OR CONCRETE PENETRATIONS.
 - CONTRACTOR SHALL PROTECT ALL LIGHT FIXTURES, SECURITY CAMERAS, HOSE BIBBS, AND OTHER EXISTING ITEMS WITHIN LIMITS OF CONSTRUCTION. ANY DAMAGED ITEMS SHALL BE REPAIRED OR REPLACED AT CONTRACTOR'S EXPENSE. CAULK AROUND SURFACE-MOUNTED FIXTURES, TYPICAL.
- INDICATES AREA OF SEVERE SOILING. USE SEVERE SOILING AND BIOLOGICAL GROWTH CLEANER LISTED IN SPECIFICATIONS. AFTER SEVERE SOILING HAS BEEN CLEANED, APPLY GENERAL CLEANING METHODS. RE: SECTION 045000.

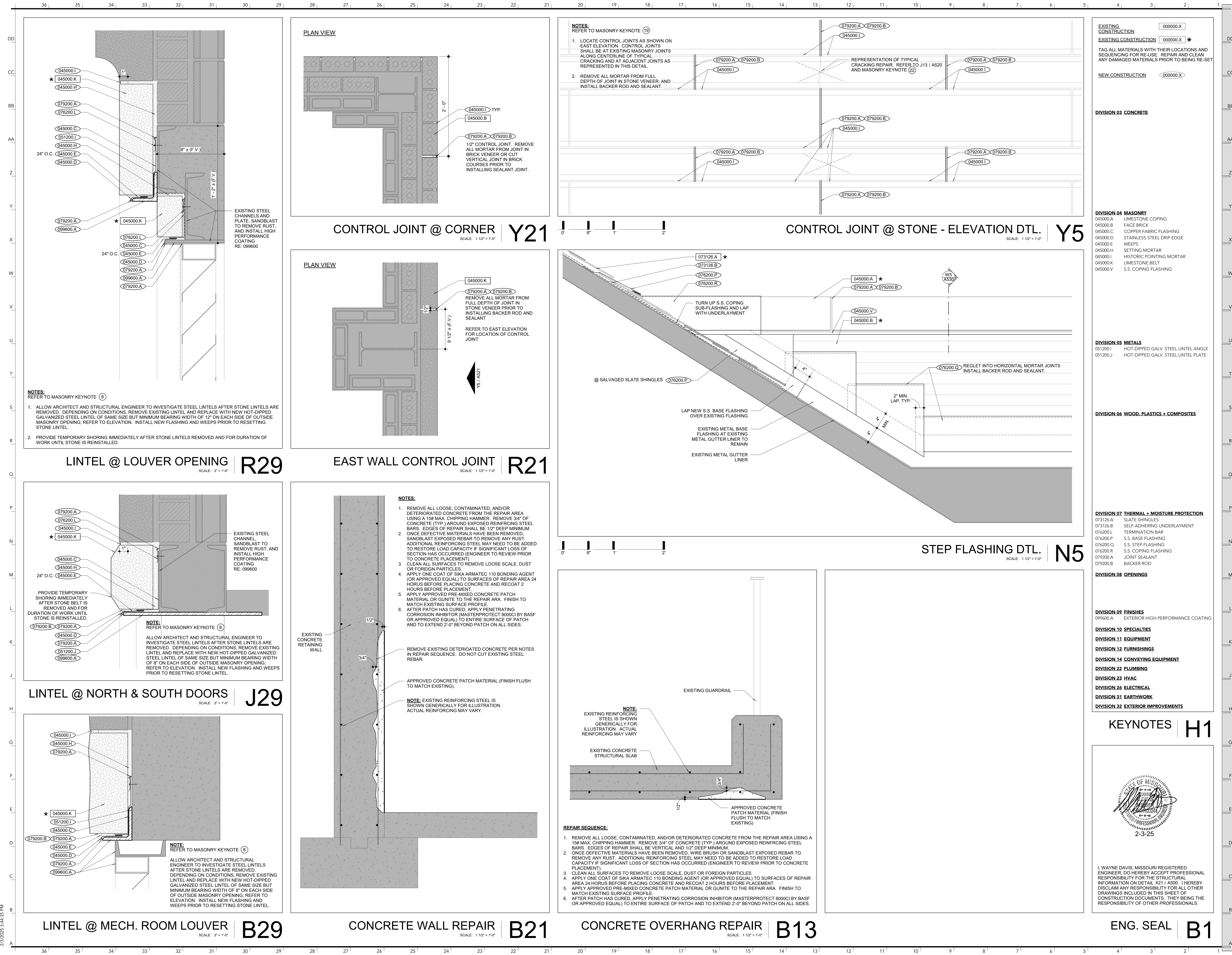
- GENERAL MASONRY NOTES:**
- CONTRACTOR SHALL CLEAN ALL STONE AND BRICK MASONRY SURFACES, INCLUDING LEDGES, SILLS, RECESSES, AND ENTRANCES WITHIN THE CONSTRUCTION LIMITS WITH SPECIFIED CLEANING PRODUCTS. CLEAN HEAVILY SOILED AREAS PRIOR TO THE APPLICATION OF NEW POINTING MORTAR. MASONRY CLEANING SHALL BE PERFORMED IN ORDER OF THE HIGHEST FLOOR LEVEL TO THE LOWEST FLOOR LEVEL.
 - CONTRACTOR SHALL PROTECT ALL OPEN, RAKED JOINTS DURING ADVERSE WEATHER CONDITIONS IN WHICH RAINWATER COULD INFILTRATE THE JOINT. RAKED JOINTS MUST BE PROTECTED WITH BACKER ROD AND PLASTIC COVER.
 - ALL MORTAR JOINTS ON THE HORIZONTAL SURFACES SHALL BE RAKED TO A MINIMUM OF 1" DEPTH. FILL VOIDS AND CAVITIES WITH MORTAR AND INSTALL BACKER ROD AND SEALANT TO MATCH MORTAR COLOR. RUB MASONRY SAND TO FRESH SEALANT JOINT TO SIMULATE MORTAR JOINTS.
 - TYPICAL REPOINTING: CONTRACTOR SHALL RAKE AND REPOINT ALL JOINTS IN AREAS INDICATED TO A MINIMUM OF 1" DEPTH. FILL ANY VOIDS AND CAVITIES PRIOR TO TUCK POINTING THE JOINTS WITH HISTORIC MORTAR MIX.
 - REPOINTING AT VOIDS $\leq 2"$: AT LOCATIONS WHERE VOIDS IN MORTAR JOINTS EXIST UP TO 2" FROM THE SURFACE OF MASONRY, POINT WITH HISTORIC POINTING MORTAR 1" FROM FACE OF MASONRY. POINT WITH PRE-MIXED MORTAR AN ADDITIONAL 1" BEYOND HISTORIC POINTING MORTAR.
 - GROUT INJECTION & POINTING AT VOIDS $> 2"$: AT LOCATIONS WHERE VOIDS IN MORTAR JOINTS EXIST GREATER THAN 2" FROM THE SURFACE OF THE MASONRY, INSERT GROUT INJECTION GROUT UP TO 1" FROM THE SURFACE OF THE MASONRY. POINT WITH HISTORIC POINTING MORTAR FOR THE FINAL 1" TO THE SURFACE OF THE MASONRY.

- RESTORATION KEYNOTES:**
- INSTALL NEW MASONRY REINFORCEMENT ON BACKUP WALL AND NEW BASE FLASHING ABOVE STONE BELT. REINSTALL SALVAGED FACE BRICK MASONRY ON PARAPET WALL DOWN TO EXISTING STONE BELT. REPLACE ANY DAMAGED FACE BRICK WITH BRICK OF MATCHING SIZE, FINISH, AND TEXTURE. BLEND NEW BRICKS IN EXISTING UNIFORM LOOK. TUCKPOINT JOINTS WITH SPECIFIED PRE-MIXED POINTING MORTAR UP TO 1" FROM EXTERIOR FACE OF MASONRY. POINT REMAINING 1" OF JOINT TO FACE OF MASONRY WITH MATCHING HISTORIC POINTING MORTAR. REFER TO DETAIL B13 / A500.
 - REINSTALL SALVAGED FACE BRICK AND REPLACE DAMAGED PRE-MIXED POINTING MORTAR UP TO 1" FROM EXTERIOR FACE OF MASONRY. POINT REMAINING 1" OF JOINT TO FACE OF MASONRY WITH MATCHING HISTORIC POINTING MORTAR.
 - INFILL AREA OF EXISTING SCUPPER LOCATION WITH NEW MASONRY TO MATCH EXISTING PARAPET WALL. BLEND IN NEW FACE BRICK WITH EXISTING SALVAGED BRICK.
 - INSTALL NEW STAINLESS STEEL FLASHING ALONG PARAPET WALLS AND REPLACE RUSTED STONE COPING ANCHORS WITH NEW 1/2" DIA. STAINLESS STEEL DOWELS PRIOR TO REINSTALLING SALVAGED STONE COPINGS. TUCKPOINT JOINTS BETWEEN STONE COPINGS TO A MINIMUM OF 1" FROM FACE OF STONE AND INSTALL BACKER ROD AND SEALANT FOR REMAINDER OF JOINT. REFER TO DETAIL W5 / A530.
 - INSTALL NEW BACKER ROD AND SEALANT AT VERTICAL BRICK CONTROL JOINT. REFER TO SPECIFICATION SECTION 079200.
 - INSTALL NEW BACKER ROD AND BRICK COLOR SEALANT AT VERTICAL JOINT ALONG ENTIRE LENGTH OF INSIDE CORNER. REFER TO SPECIFICATION SECTION 079200.
 - REMOVE AND RESET EXISTING STONE PIECES WITH NEW STAINLESS STEEL STONE ANCHORS.
 - LINTEL REPLACEMENT OR REPAIR: ALLOW ARCHITECT AND STRUCTURAL ENGINEER TO INVESTIGATE STEEL LINTELS AFTER STONE LINTELS ARE REMOVED. DEPENDING ON CONDITION OF THE STEEL LINTEL, REMOVE EXISTING LINTEL AND REPLACE WITH NEW HOT-DIPPED GALVANIZED STEEL LINTEL OF SAME SIZE BUT MINIMUM BEARING WIDTH AS INDICATED ON ELEVATION. LINTELS TO BE REPLACED ARE INDICATED WITH **. ALL OTHER LINTELS ARE TO REMAIN AND BE REFINISHED WITH A HIGH PERFORMANCE COATING UNLESS CONDITIONS DISCOVERED AFTER STONE IS REMOVED SUGGEST OTHERWISE. INSTALL NEW FLASHING AND WEEPS PRIOR TO RESETTING STONE LINTEL.
 - PAINT EXISTING METAL LOUVER, FRAME & LINTEL, OR BOX WITH NEW HIGH PERFORMANCE COATING. REMOVE ALL RUST PRIOR TO REPAINTING. REINSTALL BIRD SCREEN. RE: SECTION 099600.
 - INSTALL NEW BACKER ROD AND SEALANT JOINTS AROUND PERIMETER OF DOOR/LOUVER FRAMES. RE: SECTION 079200.
 - REFINISH DOOR AND DOOR FRAME WITH NEW PAINT. REFER TO SPECIFICATION SECTION 099600.
 - RAKE ALL MORTAR JOINTS IN HATCHED AREA OR ALONG JOINTS INDICATED TO A MINIMUM OF 1" DEPTH AND TUCK POINT WITH MATCHING HISTORICAL POINTING MORTAR.
 - CRACK INJECTION: ALL FRACTURES OR CRACKS THAT ARE LESS THAN OR EQUAL TO 1/8" SHALL BE INJECTED WITH DISPERSED HYDRATED LIME (DHL). IF A CAVITY IS TOO DEEP TO BE FILLED USING DHL, AN APPLICATION OF NHL SHALL BE USED TO TOP OVER THE OPENING. DHL SHALL BE CUSTOM MATCHED TO COLOR OF STONE. RE: R13 / A520.
 - STONE PATCH: REPAIR STONE WITH HISTORIC PATCHING MATERIAL TO MATCH EXISTING STONE AND PROFILE. DOWEL STONE PATCH AND ENSURE FULL BONDING SO THAT PATCH REMAINS SECURE IN PLACE. RE: Y13 / A520.
 - MICRO-PIN REPAIR: USE MICRO-PINS FOR LOCATIONS OF DETACHED STONE WHERE THE THICKNESS OF THE SPALL IS LESS THAN OR EQUAL TO 2". USE 4 MM STAINLESS STEEL OR TITANIUM SURGICAL BONE SCREWS INSERTED BY HAND USING A HEX KEY. ALL PINS SHALL HAVE A MINIMUM EMBEDMENT DEPTH OF 2" INTO THE PARENT STONE. SCREW HEADS SHALL HAVE A 1/4" COUNTERSUNK DEPTH. PINS SHALL BE SPACED A MINIMUM DISTANCE OF 8" APART. PROVIDE A MINIMUM DISTANCE OF 3" FROM THE EDGE OF THE STONE UNIT. RE: Y29 / A520.
 - THREADED ROD REPAIR: ANCHOR EITHER 1/8" THREADED RODS OR 3/8" THREADED RODS INTO PILOT HOLES USING MASONRY ADHESIVE GROUT. ALL PINS SHALL HAVE A MINIMUM EMBEDMENT DEPTH OF 2" INTO THE PARENT STONE. THREADED RODS SHALL HAVE A 1/4" COUNTERSUNK DEPTH. RODS SHALL BE SPACED A MINIMUM DISTANCE OF 8" APART. PROVIDE A MINIMUM DISTANCE OF 3" FROM THE EDGE OF THE STONE UNIT. RE: Y21 / A520.
 - REMOVE DAMAGED OR CRACKED BRICKS AND REPLACE WITH MATCHING BRICK. TOOTH-IN NEW BRICK MASONRY.
 - AFTER BRICK COURSES ARE REMOVED, INSTALL NEW FLASHING ABOVE STONE BAND AND REINSTALL SALVAGED FACE BRICK. TUCKPOINT JOINTS TO MINIMUM OF 1" FROM FACE OF STONE AND INSTALL BACKER ROD AND SEALANT WITH ROPE WEEPS ALONG TOP OF STONE BAND. RE: B13 / A520.
 - INSTALL NEW CONTROL JOINT WITH BACKER ROD AND SEALANT IN MASONRY VENEER. RE: Y21 / A521 FOR BRICK LOCATION AT CORNERS. RE: R21 / A521 FOR STONE LOCATIONS ON EAST ELEVATION.
 - INSTALL NEW FLASHING ALONG LOCATION OF ROOF INTERSECTION WITH PARAPET WALL. RE: N5 / A521.
 - REINSTALL SALVAGED FACE BRICK AND REPLACE DAMAGED BRICK WITH NEW MATCHING BRICK. INSTALL 1/4" STAINLESS STEEL RODS PRIOR TO REPOINTING AT STEP CRACKING LOCATION. REPOINT WITH SPECIFIED PRE-MIXED POINTING MORTAR UP TO 1" FROM EXTERIOR FACE OF MASONRY. POINT REMAINING 1" OF JOINT TO FACE OF MASONRY WITH MATCHING HISTORIC POINTING MORTAR. RE: J5 / A520.
 - REMOVE CRACKED OR DAMAGED STONES & INJECT MASONRY ADHESIVE GROUT INTO CRACK AND INSERT 3/8" THREADED RODS TO PIN STONE TOGETHER. ANCHOR THREADED RODS INTO PILOT HOLES USING MASONRY ADHESIVE GROUT AND COUNTERSINK RODS AT A 1/4" DEPTH. RE: J13 / A520.
 - REMOVE AND INSTALL NEW BACKER ROD AND SEALANT AROUND ALL PENETRATIONS, TYP. IN THIS AREA.
 - SANDBLAST & APPLY HIGH PERFORMANCE COATING @ GRATING.



AUDITORIUM - SOUTH ELEVATION B6

NOTES B1



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4338 BELLEVUE AVE.
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FOR THE CURATORS OF THE UNIVERSITY OF MISSOURI

JESSE HALL AUDITORIUM - BUILDING ENVELOPE UPDATE

ISSUE FOR BID

801 Conley Avenue
Columbia, MO 65211

DATE: FEBRUARY 7, 2025
PROJ. NO.: CP242812

DESIGNED BY: ST, JL
DRAWN BY: ST, JL
CHECKED BY: JL
APPROVED BY: MA

SEAL: [Professional Seal]

2-7-2025

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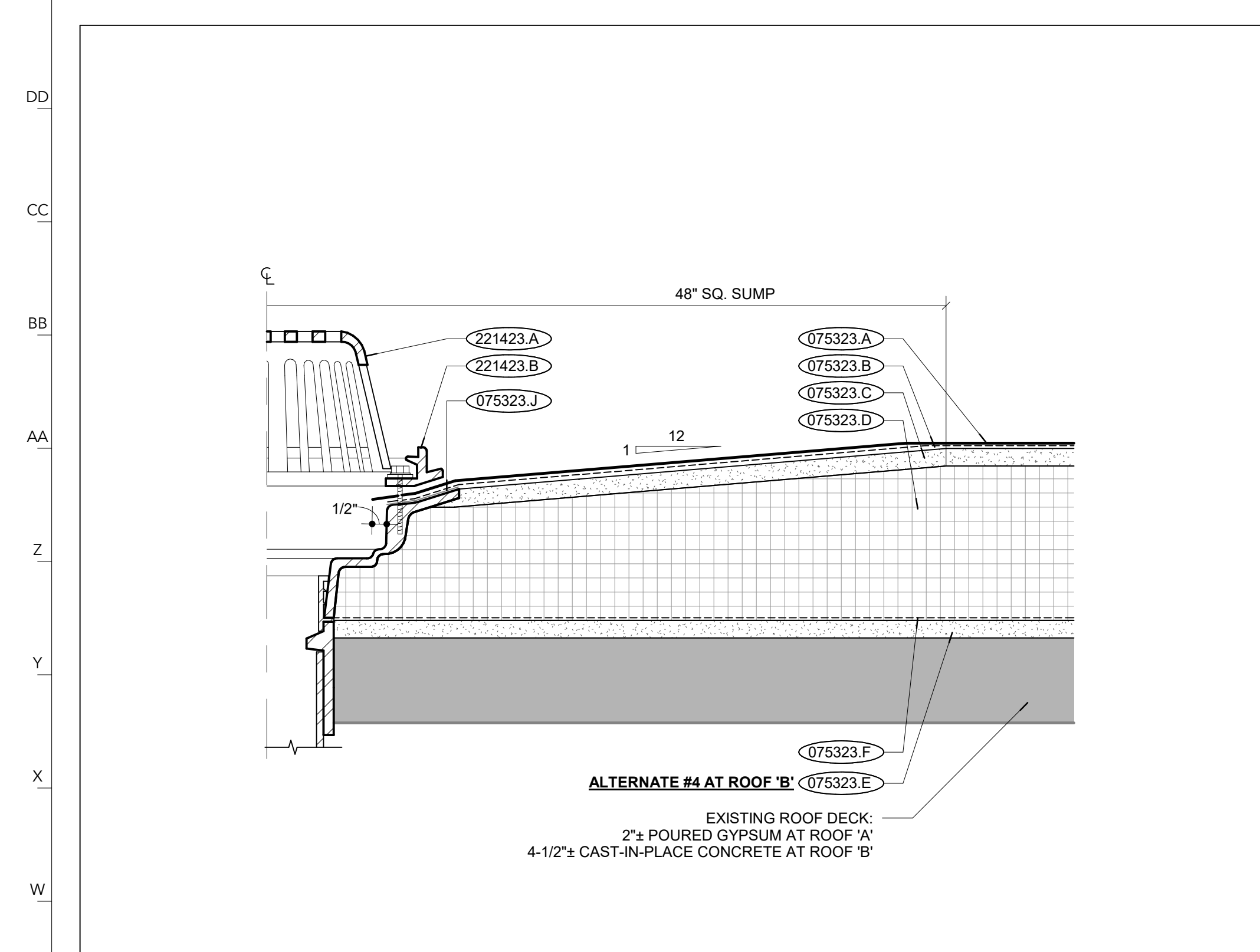
NO.	REVISION SUBMISSION	DATE
0	ISSUE FOR BID	02/07/2025

MASONRY RESTORATION DETAILS
A521

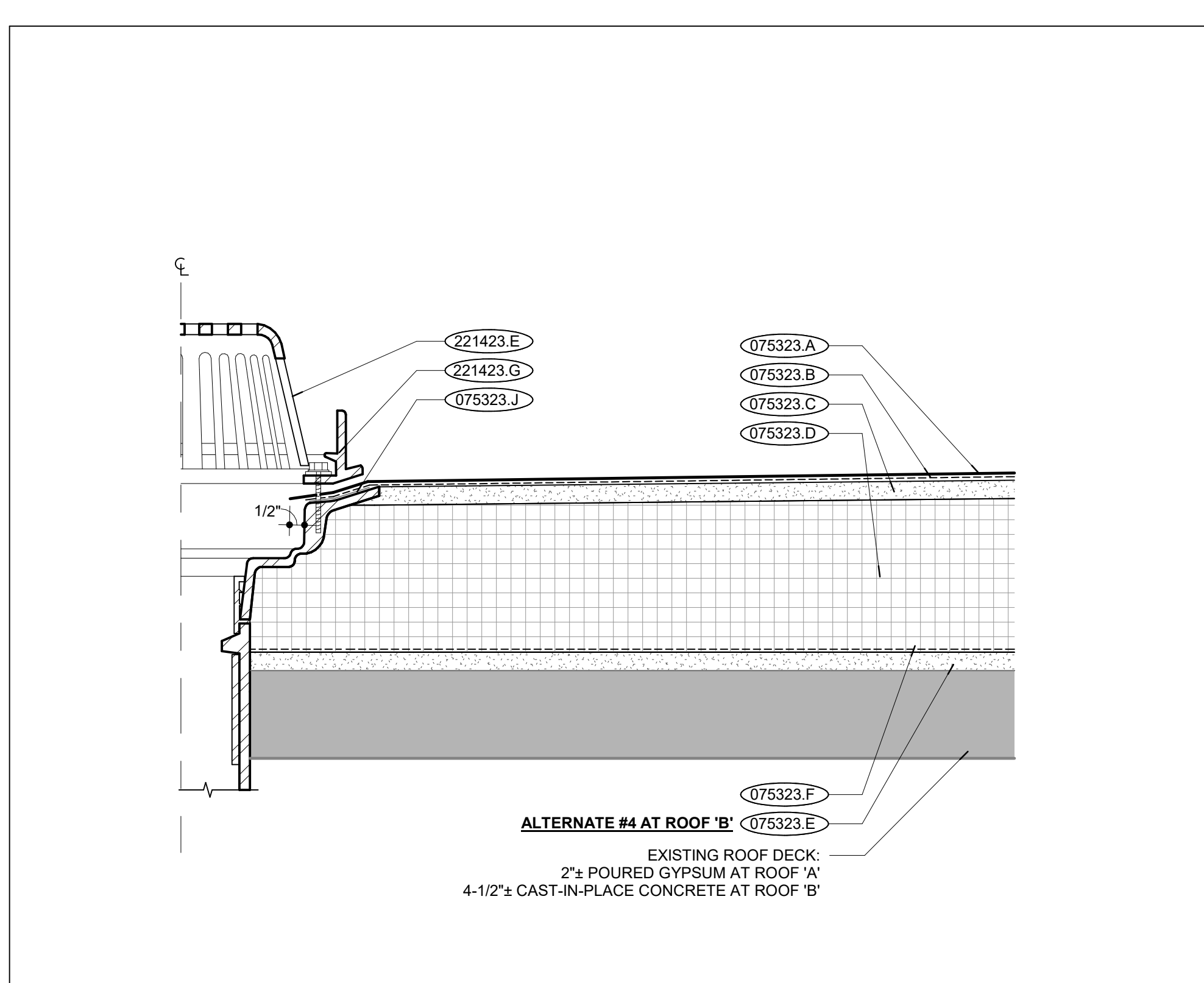
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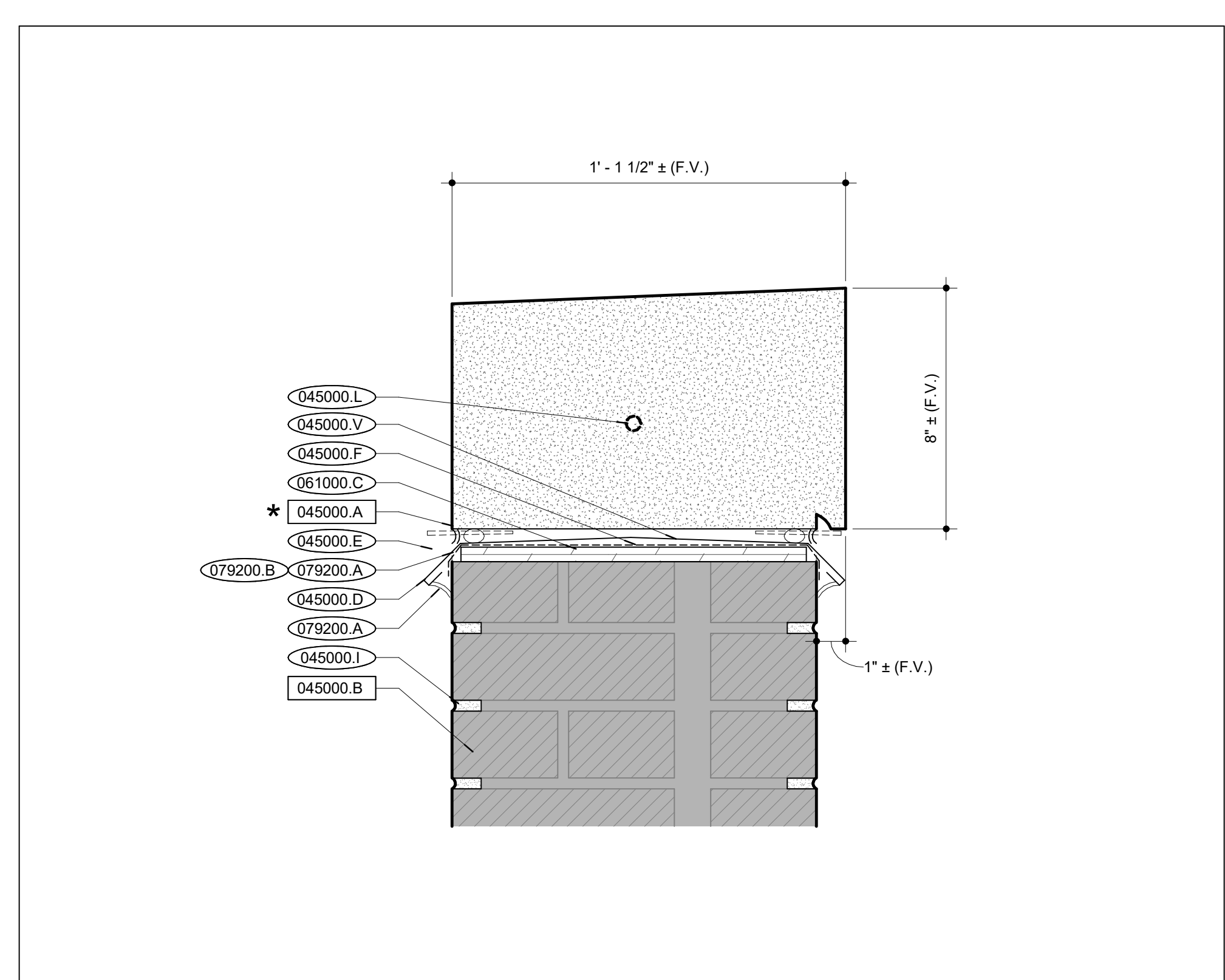
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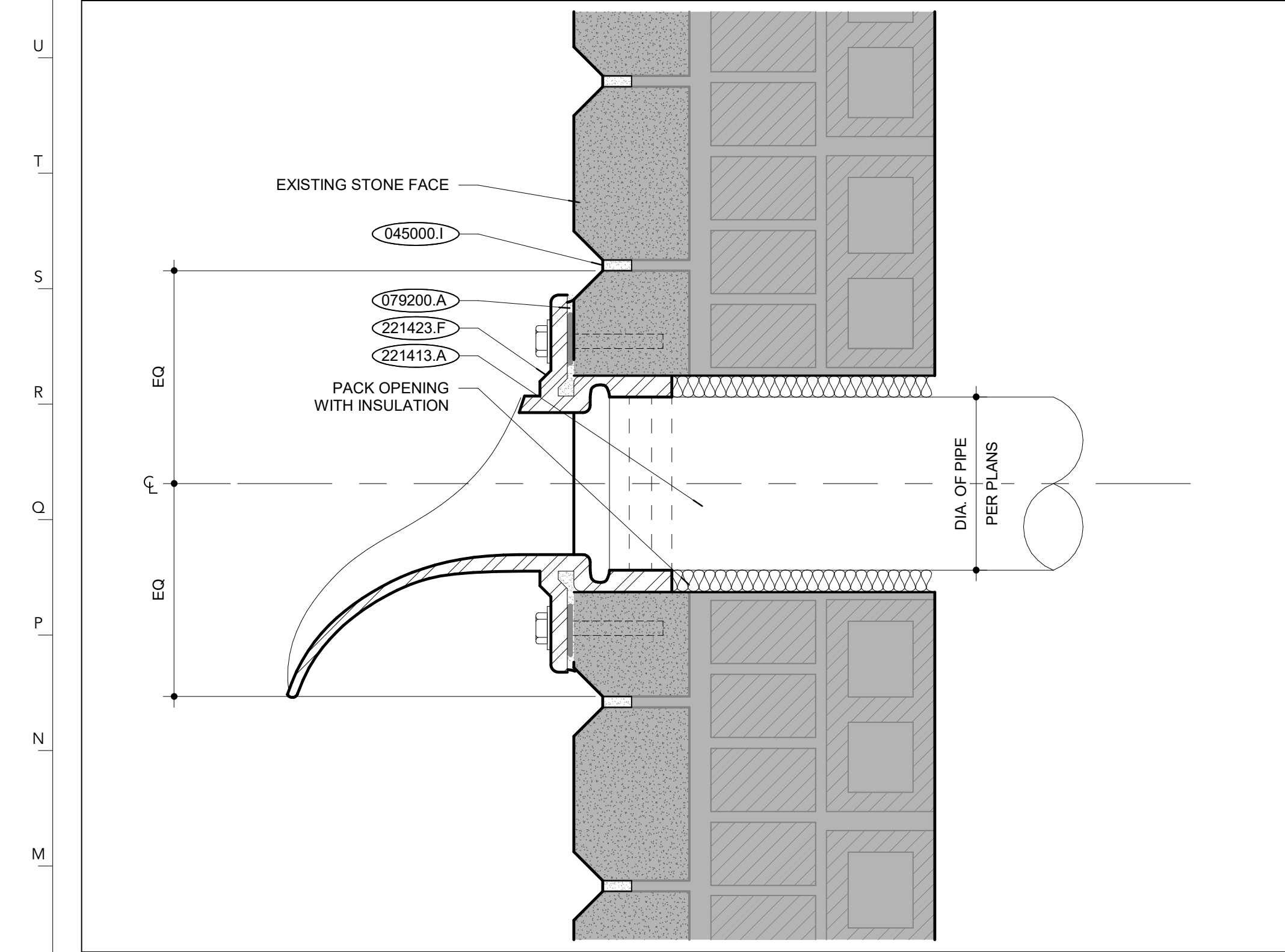
ROOF DRAIN W27
SCALE: 3" = 1'-0"



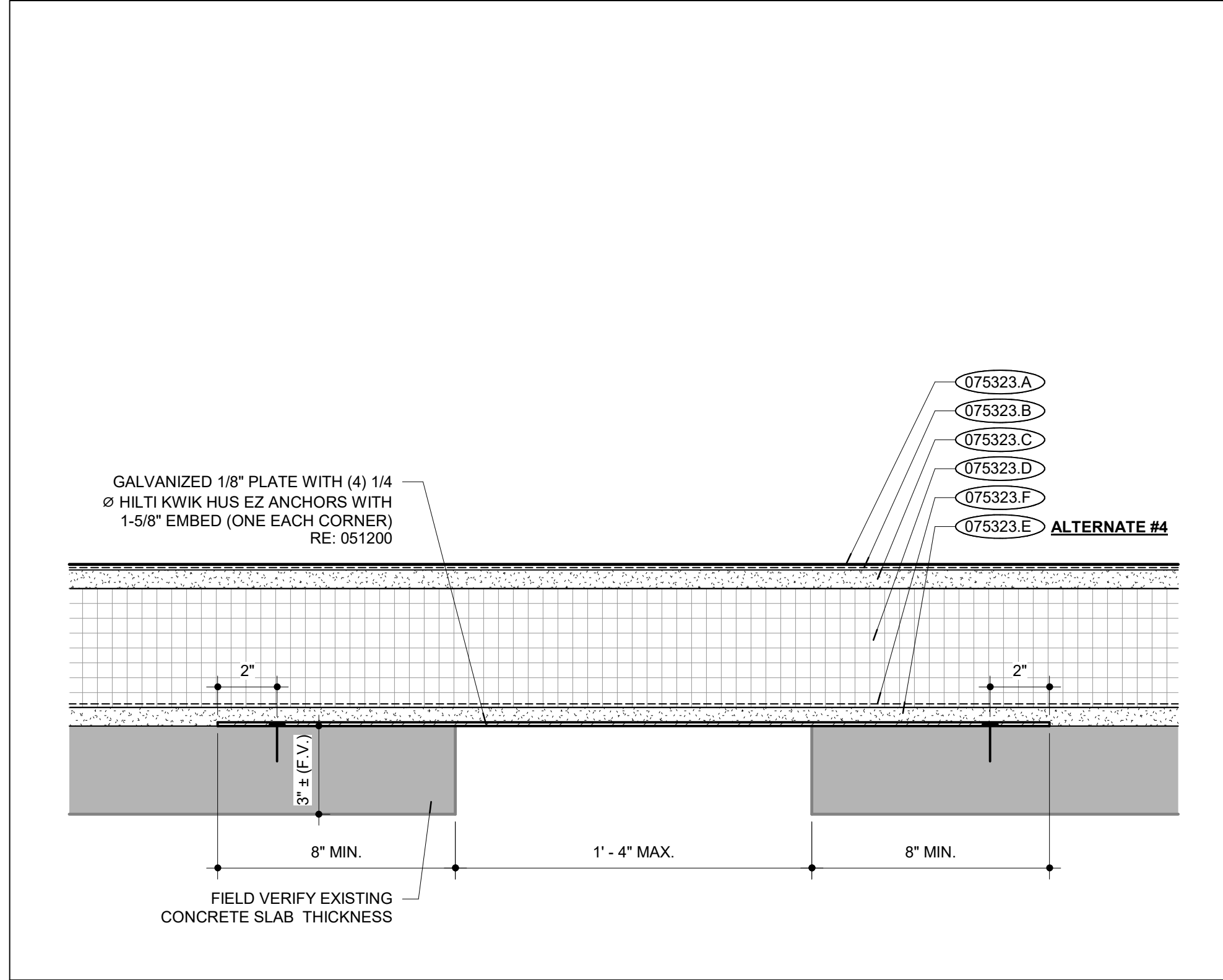
OVERFLOW DRAIN W16
SCALE: 3" = 1'-0"



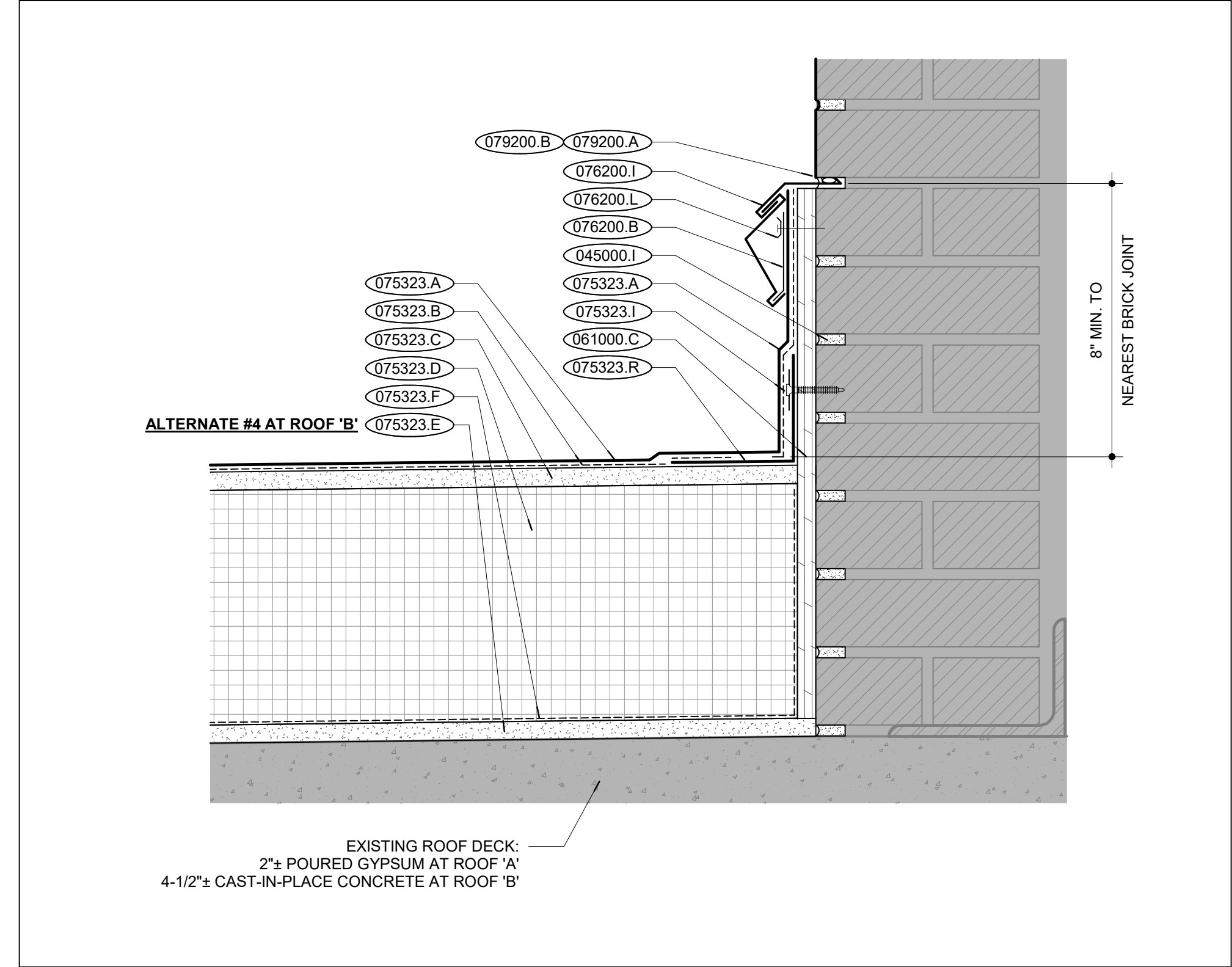
COPING DETAIL W5
SCALE: 3" = 1'-0"



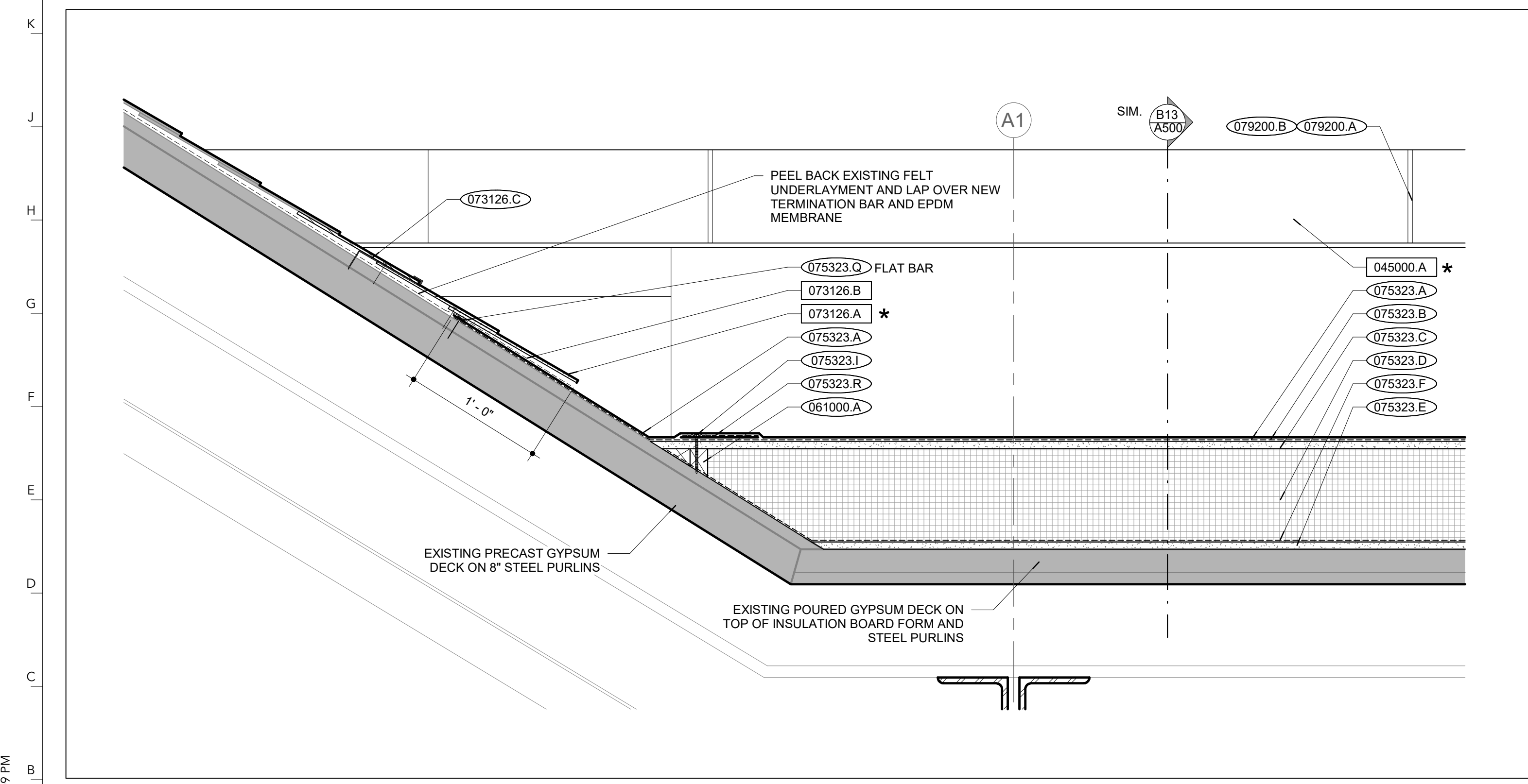
OVERFLOW DRAIN DETAIL L27
SCALE: 3" = 1'-0"



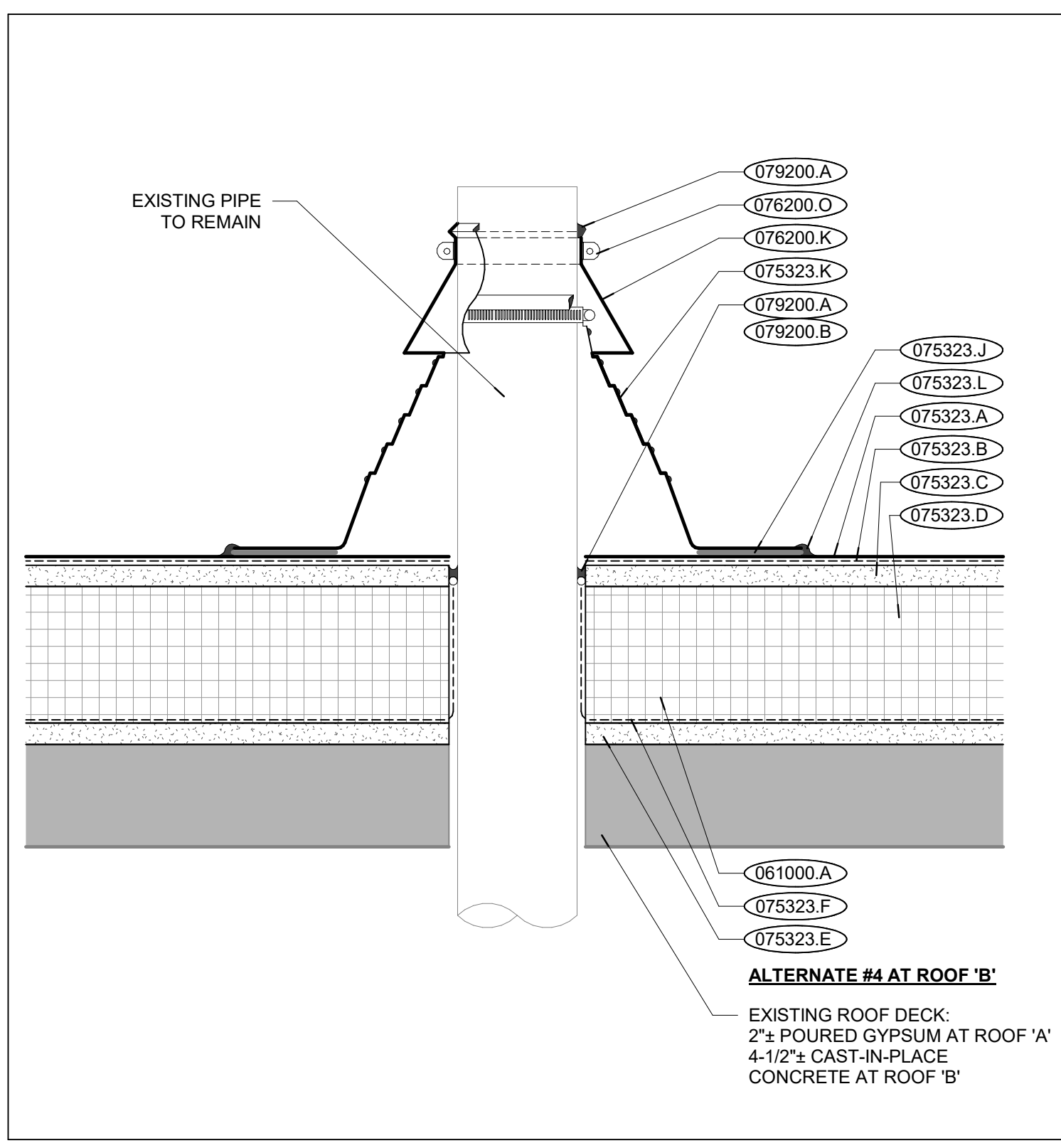
ROOF STRUCTURE INFILL FOR SMALL OPENINGS L16
SCALE: 3" = 1'-0"



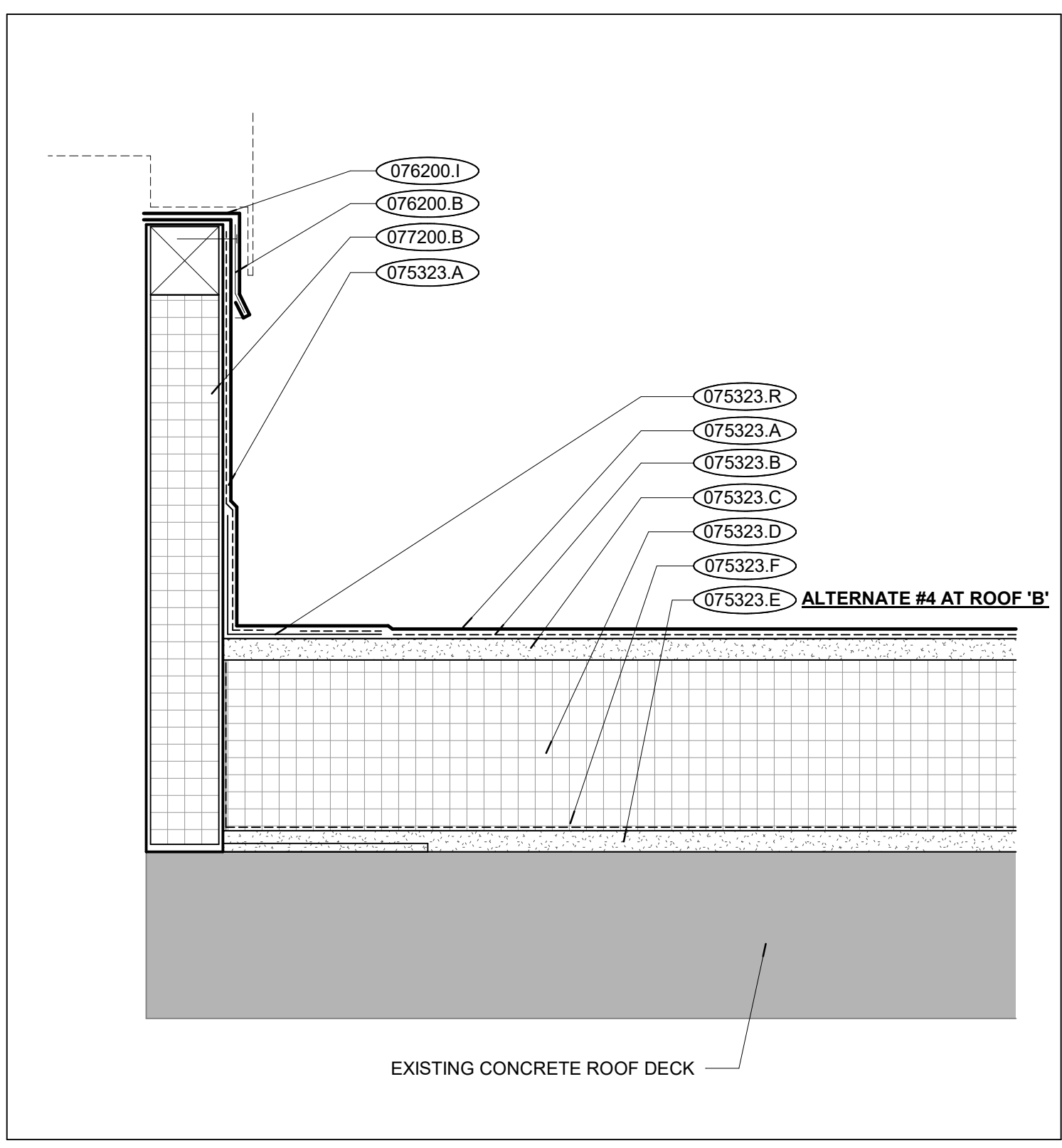
TYP. WALL BASE FLASHING DTL. L5
SCALE: 3" = 1'-0"



SLATE ROOF BASE DETAIL B21
SCALE: 1 1/2" = 1'-0"



TYP. PIPE PENETRATION B13
SCALE: 3" = 1'-0"



EQUIPMENT CURB DETAIL B5
SCALE: 3" = 1'-0"

EXISTING CONSTRUCTION 000000.X
EXISTING CONSTRUCTION 000000.X *
 TAG ALL MATERIALS WITH THEIR LOCATIONS AND SEQUENCING FOR RE-USE. REPAIR AND CLEAN ANY DAMAGED MATERIALS PRIOR TO BEING RE-SET.

NEW CONSTRUCTION 000000.X

DIVISION 03 CONCRETE

DIVISION 04 MASONRY

DIVISION 05 METALS

DIVISION 06 WOOD, PLASTICS + COMPOSITES

DIVISION 07 THERMAL + MOISTURE PROTECTION

DIVISION 08 OPENINGS

DIVISION 09 FINISHES

DIVISION 10 SPECIALTIES

DIVISION 11 EQUIPMENT

DIVISION 12 FURNISHINGS

DIVISION 14 CONVEYING EQUIPMENT

DIVISION 22 PLUMBING

DIVISION 23 HVAC

DIVISION 26 ELECTRICAL

DIVISION 31 EARTHWORK

DIVISION 32 EXTERIOR IMPROVEMENTS

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FOR THE CURATORS OF THE UNIVERSITY OF MISSOURI

JESSE HALL AUDITORIUM - BUILDING ENVELOPE UPDATE

ISSUE FOR BID

801 Conley Avenue
 Columbia, MO 65211

DATE: FEBRUARY 7, 2025
 PROJ. NO.: CP242812

DESIGNED BY: ST, JL
 DRAWN BY: ST, JL
 CHECKED BY: JL
 APPROVED BY: MA

SEAL:

MAIRD AMIRALTAI ARCHITECTS
 NUMBER A-005077
 2-7-2025

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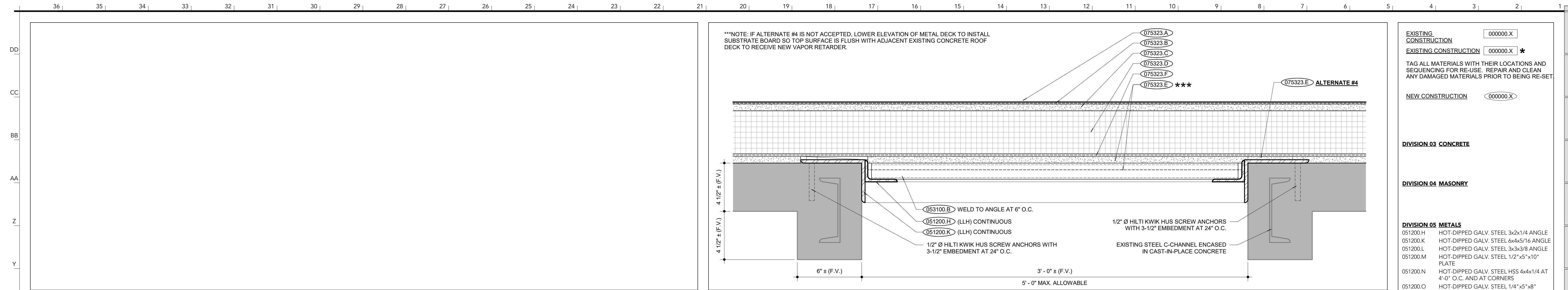
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0	ISSUE FOR BID	02/07/2025

ROOF DETAILS

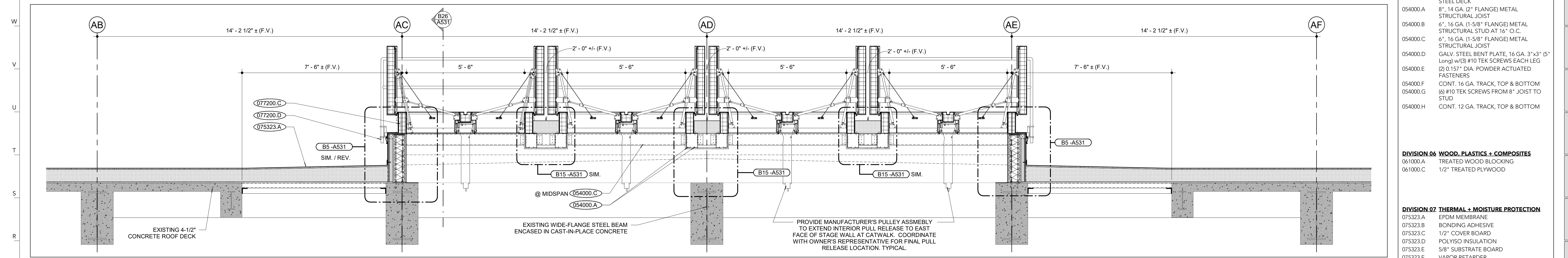
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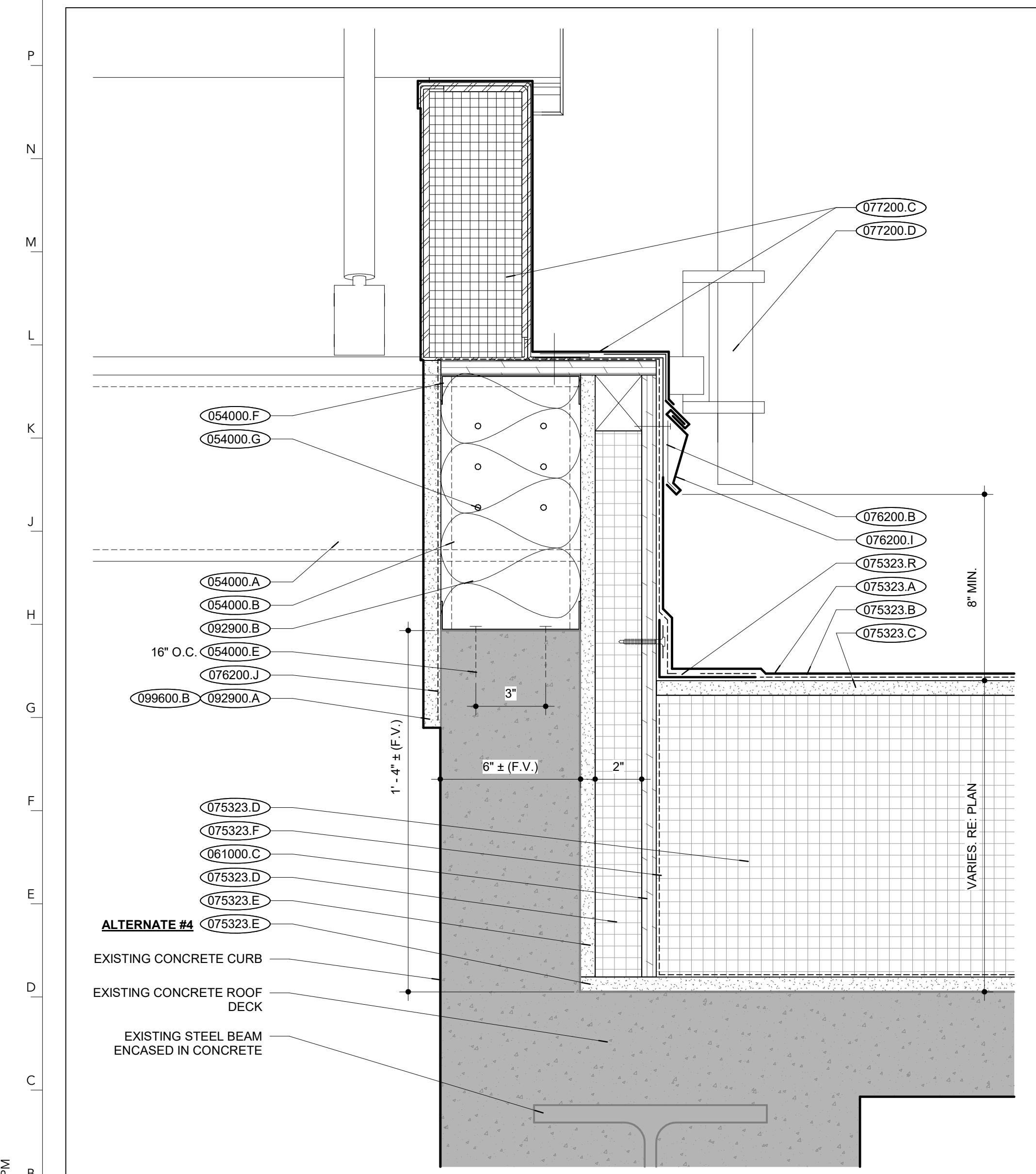
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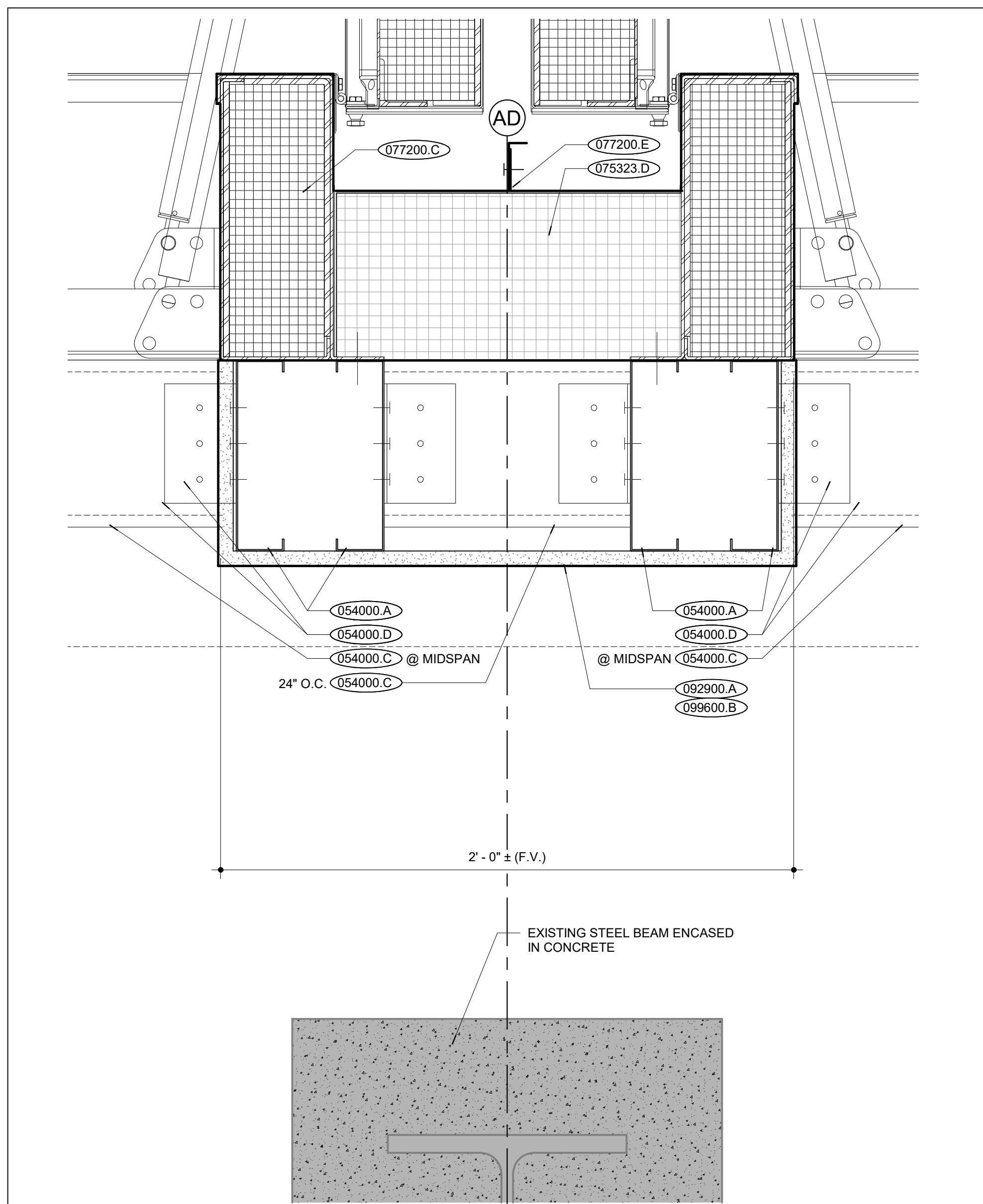
ROOF STRUCTURE INFILL AT REMOVED ROOF HATCH X5



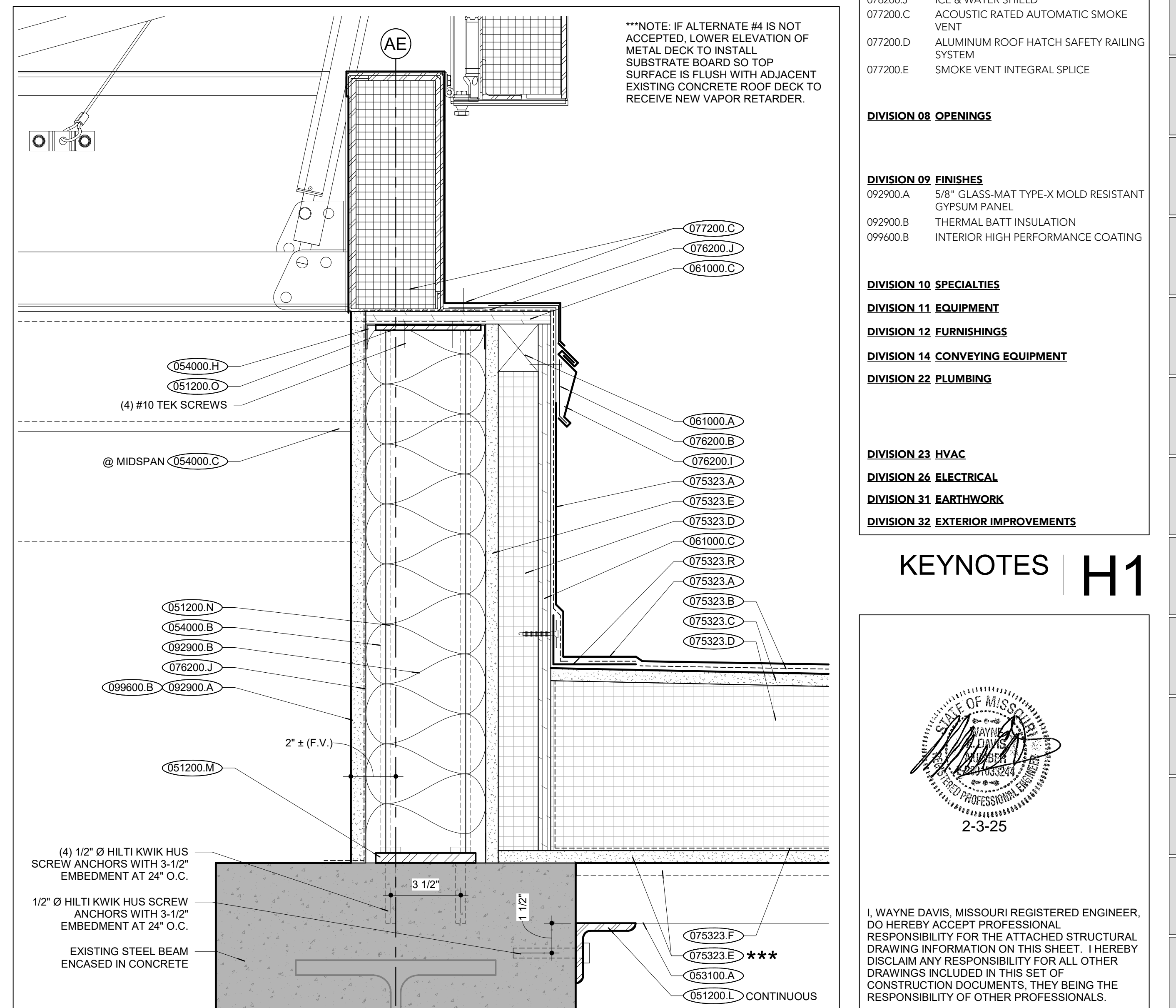
SMOKE VENT N-S SECTION N5



DETAIL AT EXISTING CURB B26



SPLICE DETAIL B15



DETAIL AT NEW CURB B5

EXISTING CONSTRUCTION	000000.X
EXISTING CONSTRUCTION	000000.X *
NEW CONSTRUCTION	000000.X

DIVISION 03 CONCRETE

DIVISION 04 MASONRY

DIVISION 05 METALS

051200.H HOT-DIPPED GALV. STEEL 3x2-1/4 ANGLE
051200.K HOT-DIPPED GALV. STEEL 4x4-5/16 ANGLE
051200.L HOT-DIPPED GALV. STEEL 3x3-3/8 ANGLE
051200.M HOT-DIPPED GALV. STEEL 1/2"x5"x10" PLATE
051200.N HOT-DIPPED GALV. STEEL HSS 4x4x1/4 AT 4'-0" O.C. AND AT CORNERS
051200.O HOT-DIPPED GALV. STEEL 1/4"x5"x8" PLATE
053100.A 3" GALVANIZED, 18 GA. TYP N STEEL ROOF DECK. ATTACH TO ANGLE AT 8" O.C.
053100.B 1-1/2" GALVANIZED, 20 GA. WIDE RIB STEEL DECK
054000.A 8" 14 GA. (2" FLANGE) METAL STRUCTURAL JOIST
054000.B 6", 16 GA. (1-5/8" FLANGE) METAL STRUCTURAL JOIST AT 16" O.C.
054000.C 6", 16 GA. (1-5/8" FLANGE) METAL STRUCTURAL JOIST
054000.D GALV. STEEL BENT PLATE, 16 GA. 3"x3" (5' Long) w/ (3) #10 TEK SCREWS EACH LEG
054000.E 6", 16 GA. (1-5/8" FLANGE) METAL STRUCTURAL JOIST
054000.F CONT. 16 GA. TRACK, TOP & BOTTOM (6) #10 TEK SCREWS FROM 8" JOIST TO STUD
054000.G CONT. 12 GA. TRACK, TOP & BOTTOM
054000.H CONT. 12 GA. TRACK, TOP & BOTTOM

DIVISION 06 WOOD, PLASTICS + COMPOSITES

061000.A TREATED WOOD BLOCKING
061000.C 1/2" TREATED PLYWOOD

DIVISION 07 THERMAL + MOISTURE PROTECTION

075323.A EPDM MEMBRANE
075323.B BONDING ADHESIVE
075323.C 1/2" COVER BOARD
075323.D POLYISO INSULATION
075323.E 5/8" SUBSTRATE BOARD
075323.F VAPOR RETARDER
075323.G REINFORCED PERIMETER FASTENING STRIP
076200.B S.S. CONTINUOUS CLEAT
076200.J PRE-FINISHED METAL FLASHING
076200.K ICE & WATER SHIELD
077200.C ACOUSTIC RATED AUTOMATIC SMOKE VENT
077200.D ALUMINUM ROOF HATCH SAFETY RAILING SYSTEM
077200.E SMOKE VENT INTEGRAL SPLICE

DIVISION 08 OPENINGS

DIVISION 09 FINISHES

092900.A 5/8" GLASS-MAT TYPE-X MOLD RESISTANT GYPSUM PANEL
092900.B THERMAL BATT INSULATION
099600.B INTERIOR HIGH PERFORMANCE COATING

DIVISION 10 SPECIALTIES

DIVISION 11 EQUIPMENT

DIVISION 12 FURNISHINGS

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DIVISION 23 HVAC

DIVISION 26 ELECTRICAL

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KEYNOTES H1

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DRAWN BY: ST, JL
CHECKED BY: JL
APPROVED BY: MA

SEAL: [Professional Seal]

2-7-2025

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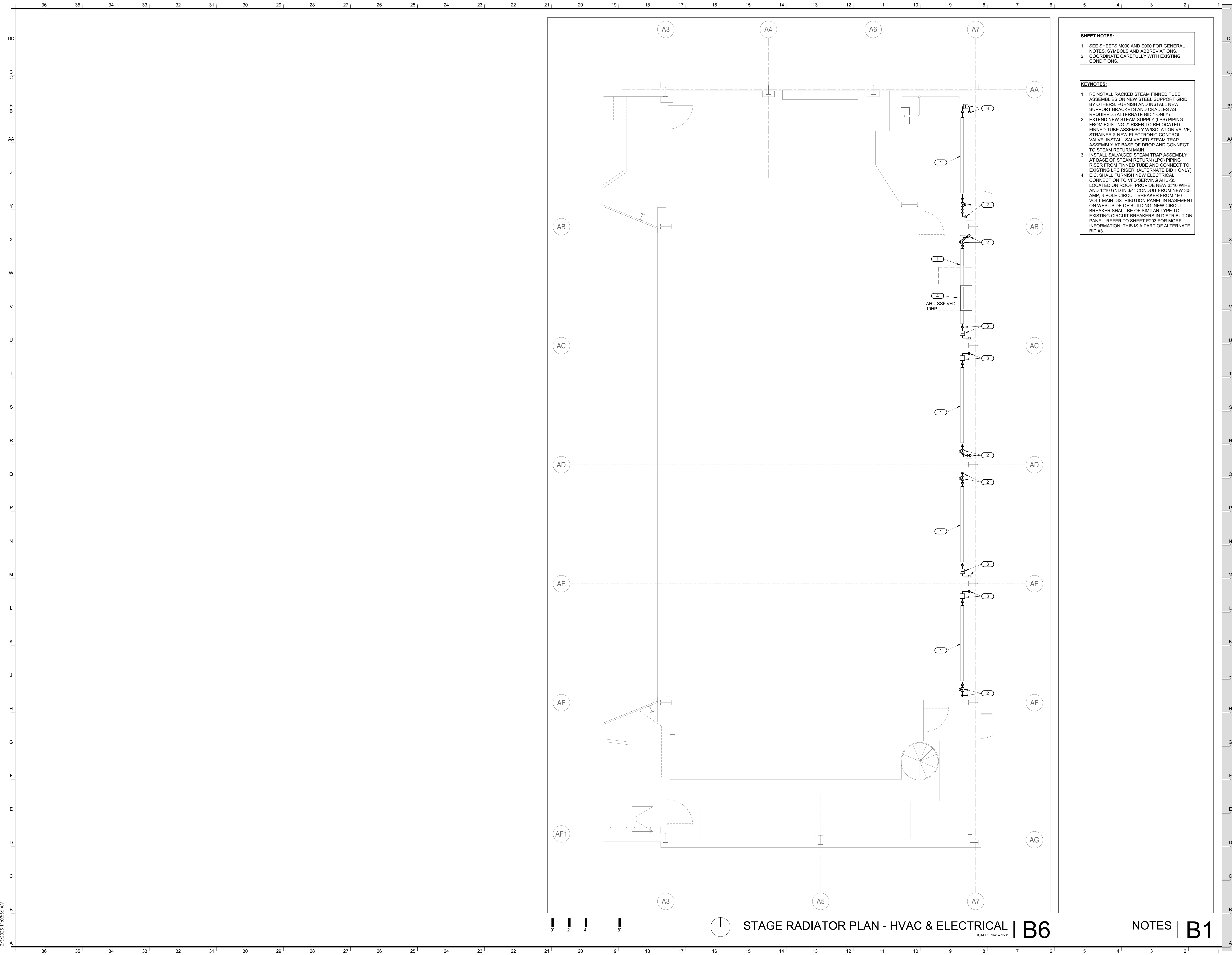
ROOF DETAILS

A531

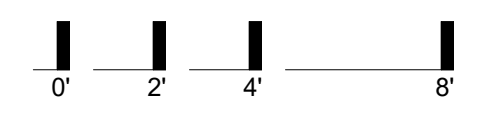
ENG. SEAL B1

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- SHEET NOTES:**
- SEE SHEETS M000 AND E000 FOR GENERAL NOTES, SYMBOLS AND ABBREVIATIONS
 - COORDINATE CAREFULLY WITH EXISTING CONDITIONS.
- KEYNOTES:**
- REINSTALL RACKED STEAM FINNED TUBE ASSEMBLIES ON NEW STEEL SUPPORT GRID BY OTHERS. FURNISH AND INSTALL NEW SUPPORT BRACKETS AND CRADLES AS REQUIRED. (ALTERNATE BID 1 ONLY)
 - EXTEND NEW STEAM SUPPLY (LPS) PIPING FROM EXISTING 2" RISER TO RELOCATED FINNED TUBE ASSEMBLY W/ISOLATION VALVE, STRAINER & NEW ELECTRONIC CONTROL VALVE. INSTALL SALVAGED STEAM TRAP ASSEMBLY AT BASE OF DROP AND CONNECT TO STEAM RETURN MAIN.
 - INSTALL SALVAGED STEAM TRAP ASSEMBLY AT BASE OF STEAM RETURN (LPC) PIPING RISER FROM FINNED TUBE AND CONNECT TO EXISTING LPC RISER. (ALTERNATE BID 1 ONLY)
 - E.C. SHALL FURNISH NEW ELECTRICAL CONNECTION TO VFD SERVING AHU-SS5 LOCATED ON ROOF. PROVIDE NEW #10 WIRE AND #10 GND IN 3/4" CONDUIT FROM NEW 30-AMP, 3-POLE CIRCUIT BREAKER FROM 480VOLT MAIN DISTRIBUTION PANEL IN BASEMENT ON WEST SIDE OF BUILDING. NEW CIRCUIT BREAKER SHALL BE OF SIMILAR TYPE TO EXISTING CIRCUIT BREAKERS IN DISTRIBUTION PANEL. REFER TO SHEET E203 FOR MORE INFORMATION. THIS IS A PART OF ALTERNATE BID #3.



1 | **STAGE RADIATOR PLAN - HVAC & ELECTRICAL** | **B6**

NOTES | **B1**

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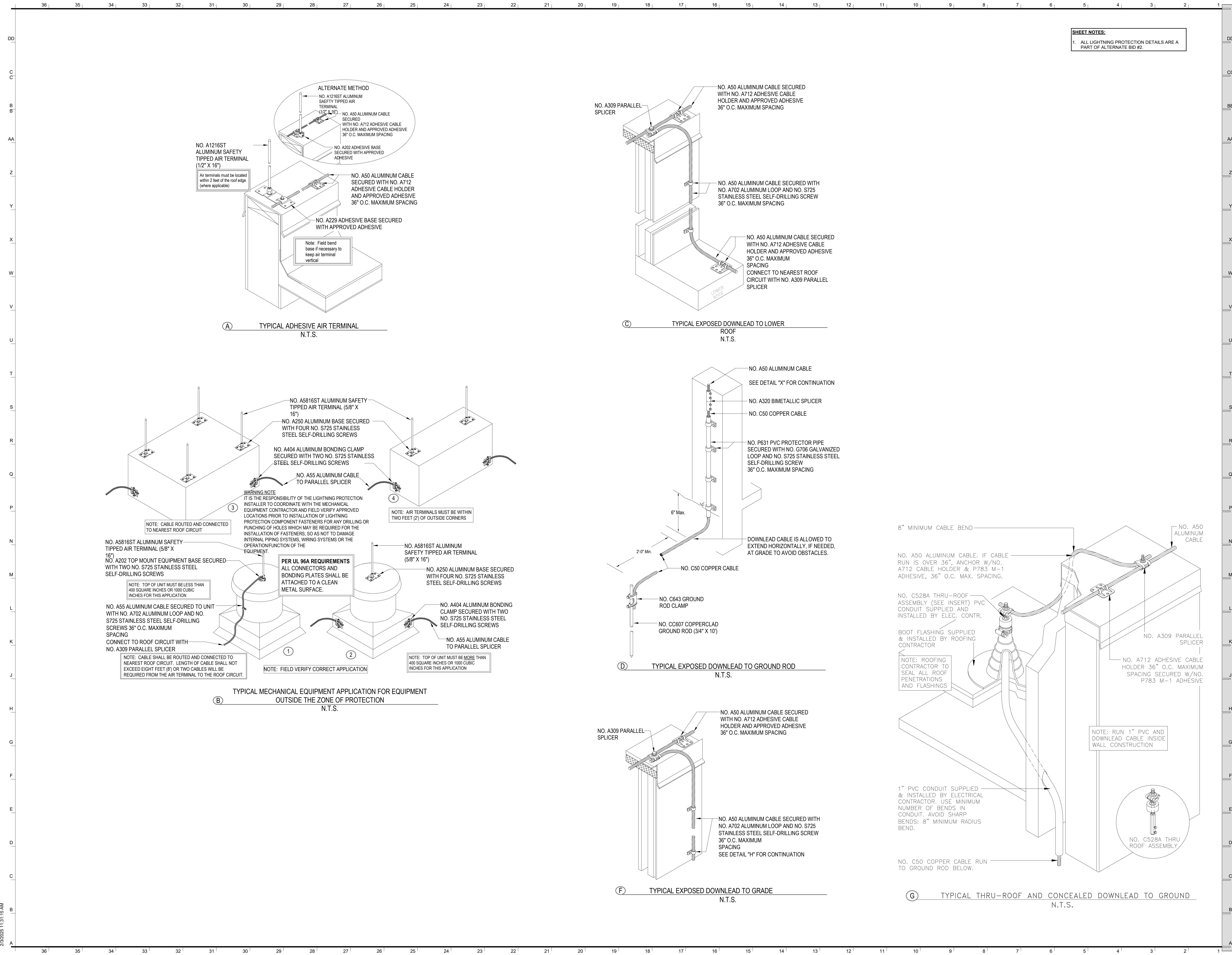
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STAGE RADIATOR PLAN - HVAC & ELECTRICAL

ME202

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SHEET NOTES:
 1. ALL LIGHTNING PROTECTION DETAILS ARE A PART OF ALTERNATE BID #2.

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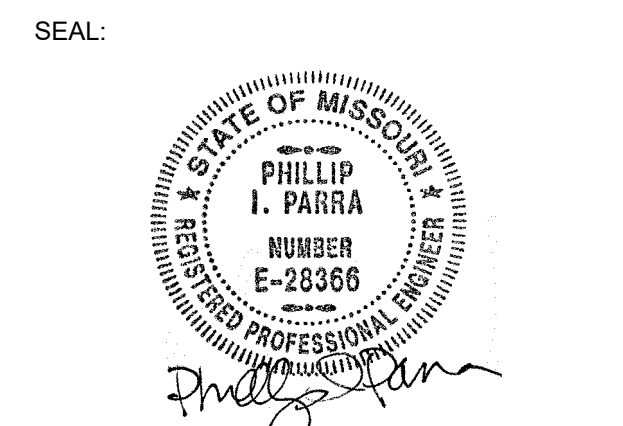
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ELECTRICAL DETAILS

E400

